

**MENDHAM TOWNSHIP ZONING SCHEDULE**  
**R-5 SINGLE-FAMILY RESIDENTIAL ZONE : EXISTING LOTS**

ORDINANCE ITEM	REQUIRED MENDHAM TWP R-5 RESIDENTIAL ZONE	EXISTING LOT 42.06	EXISTING LOT 42.07	EXISTING LOT 42.08
MIN. LOT AREA	5.0 AC	10.046 AC	10.071 AC	10.055 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	165,160 SF	160,749 SF	146,302 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	165,160 SF	160,749 SF	146,302 SF
MIN. LOT FRONTAGE	100 FT	435.16 FT	354.42 FT	400.09 FT
MIN. LOT GEOMETRY CIRCLE (LOC)*	300 FT/375 FT DIA	500 FT	400 FT	400 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	240 FT	240 FT	240 FT
MIN. SIDE YARD SETBACK **	50 FT / 80 FT.	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT / 90 FT.	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT / 80 FT.	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT/2.5 STORES	35 FT/2.5 STORES	35 FT/2.5 STORES	35 FT/2.5 STORES
MAX. FLOOR AREA=2800 SF*(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	18,678 SF	18,721 SF	18,693 SF
<b>ACCESSORY STRUCTURES</b>				
MIN. LOCATION FROM STREET	NO CLOSER THAN PRINCIPAL BLDG.			
MIN. SIDE YARD SETBACK **	50 FT / 70 FT.	50 FT	50 FT	50 FT
MIN. REAR YARD SETBACK **	60 FT / 80 FT.	60 FT	60 FT	60 FT
MAX. ACCESSORY BUILDING HEIGHT	30 FT	30 FT	30 FT	30 FT
MIN. DISTANCE FROM ANY BUILDING	10 FT	10 FT	10 FT	10 FT

\* WHEN A LOT FACES ON MORE THAN ONE STREET, THE REQUIRED DIAMETER OF L.O.C. SHALL BE INCREASED BY 25%  
 \*\* IN THE R-5 ZONE THE MINIMUM SETBACKS OF STRUCTURES WITH HEIGHTS OVER TWENTY (20) FEET SHALL BE INCREASED BY TWO (2) FEET, FOR EACH ONE (1) FOOT OF THE HEIGHT OF THE STRUCTURE IN EXCESS OF TWENTY (20) FEET. THE SECOND NUMBERS SHOW ASSUME A MAXIMUM PRINCIPAL BUILDING 35 FEET HEIGHT OR A MAXIMUM 30 FEET ACCESSORY BUILDING HEIGHT.

**R-5 SINGLE-FAMILY RESIDENTIAL ZONE : EXISTING LOTS**

ORDINANCE ITEM	REQUIRED MENDHAM TWP R-5 RESIDENTIAL ZONE	EXISTING LOT 42.12	EXISTING LOT 42.13	EXISTING LOT 42.16/ LOT 2
MIN. LOT AREA	5.0 AC	10.049 AC	10.068 AC	10.108 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	217,485 SF	215,078 SF	212,550 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	217,485 SF	215,078 SF	212,550 SF
MIN. LOT FRONTAGE	100 FT	439.96 FT	378.48 FT	263.77 FT
MIN. LOT GEOMETRY CIRCLE (LOC)*	300 FT/375 FT DIA	400 FT	500 FT	400 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	240 FT	240 FT	240 FT
MIN. SIDE YARD SETBACK **	50 FT / 80 FT.	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT/90 FT.	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT/80 FT.	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT/2.5 STORES	35 FT/2.5 STORES	35 FT/2.5 STORES	35 FT/2.5 STORES
MAX. FLOOR AREA=2800 SF*(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	19,883 SF	19,716 SF	19,784 SF
<b>ACCESSORY STRUCTURES</b>				
MIN. LOCATION FROM STREET	NO CLOSER THAN PRINCIPAL BLDG.			
MIN. SIDE YARD SETBACK **	50 FT / 70 FT.	50 FT	50 FT	50 FT
MIN. REAR YARD SETBACK **	60 FT / 80 FT.	60 FT	60 FT	60 FT
MAX. ACCESSORY BUILDING HEIGHT	30 FT	30 FT	30 FT	30 FT
MIN. DISTANCE FROM ANY BUILDING	10 FT	10 FT	10 FT	10 FT

\* WHEN A LOT FACES ON MORE THAN ONE STREET, THE REQUIRED DIAMETER OF L.O.C. SHALL BE INCREASED BY 25%  
 \*\* IN THE R-5 ZONE THE MINIMUM SETBACKS OF STRUCTURES WITH HEIGHTS OVER TWENTY (20) FEET SHALL BE INCREASED BY TWO (2) FEET, FOR EACH ONE (1) FOOT OF THE HEIGHT OF THE STRUCTURE IN EXCESS OF TWENTY (20) FEET. THE SECOND NUMBERS SHOW ASSUME A MAXIMUM PRINCIPAL BUILDING 35 FEET HEIGHT OR A MAXIMUM 30 FEET ACCESSORY BUILDING HEIGHT.

**LOT LINE TABLE**

EX. LOT	LINE	BEARING	DISTANCE
42.06	L1	N 87°01'30" W	78.87
42.07	L2	N 84°00'35" W	80.71
42.07	L3	S 83°33'25" E	27.02
42.07	L4	S 34°23'07" W	34.44
42.07	L5	S 72°33'07" W	79.19
42.07	L6	N 87°33'23" E	34.40
42.07	L7	S 81°38'15" E	45.57
42.07	L8	N 44°25'12" E	25.35
42.07	L9	N 83°41'11" E	24.96
42.07	L10	S 75°14'18" E	56.74
42.07	L11	N 47°34'03" E	35.44
42.07	L12	N 70°47'58" E	58.01
42.07	L13	N 42°51'22" E	32.72
42.07	L14	N 81°03'07" E	21.98
42.08	L15	S 67°35'07" E	26.84
42.08	L16	S 89°28'07" E	23.40
42.08	L17	N 47°30'07" E	44.08
42.08	L18	N 69°46'43" E	55.05
42.08	L19	N 59°19'45" E	36.54
42.08	L20	N 85°03'41" E	31.46
42.08	L21	S 70°30'39" E	25.64
42.08	L22	N 63°04'31" E	28.46
42.08	L23	S 54°33'00" E	40.18
42.08	L24	N 47°49'11" E	51.50
42.08	L25	N 11°21'21" E	17.79
42.08	L26	N 85°03'41" E	21.98
42.08	L27	S 23°48'31" E	28.00
42.08	L28	N 71°31'41" E	76.51

**REVIEW OF ROAD DESIGN : EXMOOR DRIVE & SUTTON PLACE**

Per N.J.A.C. 5:21, RESIDENTIAL SITE IMPROVEMENT STANDARDS (RSIS)

- EXISTING EXMOOR DRIVE AND SUTTON PLACE ROADWAYS WERE REVIEWED AND APPROVED PER MORRIS COUNTY PLANNING BOARD RESOLUTION PB-03-19, AS NOTED BY FINDINGS OF FACT #8, ADOPTED OCTOBER 6, 2003.  
 "THE BOARD DETERMINED THAT THE PROPOSED ROAD DESIGN MEETS THE REQUIREMENTS OF THE NEW JERSEY RESIDENTIAL SITE IMPROVEMENT STANDARDS FOR A RURAL AREA, SUCH A ROAD CATEGORY BEING APPROPRIATE TO THE PROPOSED DEVELOPMENT."
- AVERAGE DAILY MOTOR VEHICLE TRIPS : EXMOOR DRIVE & SUTTON PLACE PER RSIS TABLE 4.1, AVERAGE DAILY MOTOR VEHICLE TRIP GENERATION PER DWELLING UNIT (ADT)

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
No. Existing Lots per the PREVIOUS SUBDIVISION APPROVAL**	15 Lots
PEAK RATE (ADT) (Single-family detached housing)	10.1
AVERAGE DAILY TRAFFIC (Max.)	151.5 Trips
	< 200 ADT**
No. Existing Lots and PROPOSED LOTS*	18 Lots
PEAK RATE (ADT) (Single-family detached housing)	10.1
AVERAGE DAILY TRAFFIC (Max.)	181.8 Trips
	< 200 ADT**

\* Excludes Existing Lot 42.02, Block 147, with public road as only Handorable Road.  
 \*\* Since ADT < 200 Trips, Exmoor Drive and Sutton Place categorized as RURAL LANE Street type. No RSIS Clarifications apply for RURAL LANE with additional RSIS Clarifications apply. Refer to previously-approved Subdivision Plans (Gen-Note#4) for roadway design details.

**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET #8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
  - LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
  - LOT BOUNDARIES ESTABLISHED SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "MENDHAM SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
  - APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "MENDHAM SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
  - FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002. FILE NO. 149-02-00041 (P.W. 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998. FILE NO. 000-98-00031, ON MARCH 18, 2004. THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2006. FILE NO. 000-03-00251 (P.W. 030001).
- UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURACIES WERE CHECKED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER INQUIRY AND PENDING.

**YANNACONE VILLA & ALDRICH, LLC**  
 Civil Engineers & Land Surveyors  
 460 MAIN STREET, P.O. BOX 459  
 CHESTER, NEW JERSEY 07930  
 PHONE: 908-879-6646  
 FAX: 908-879-8591  
 N.J. STATE BOARD OF P.E. & L.S. CERTIFICATION OF AUTHORIZATION No. 24G27934500

**CANDICE J. DAVIS**  
 N.J. PROFESSIONAL ENGINEER  
 NO. 24G04527000 DATE 11/16/22

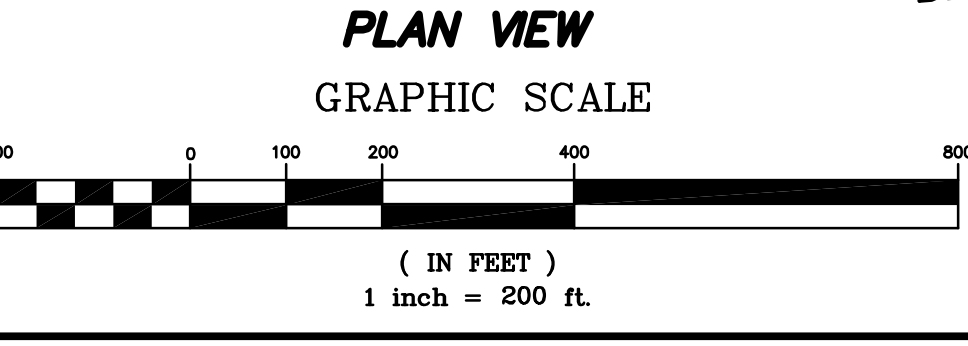
**CHRISTOPHER J. ALDRICH**  
 N.J. PROFESSIONAL LAND SURVEYOR  
 NO. 34478 DATE 11/16/22  
 NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	PER PLAN.BD.MTG.10/19/22
1	10/04/22	PER NDEP

PROJECT TITLE :  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS EXMOOR DRIVE & SUTTON PLACE LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147**  
 TAX MAP SHEET 33 TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY LOT 2 ~ BLOCK 8 TAX MAP SHEET 8 BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

**OVERALL EXISTING TRACT PLAN**

DRAWN BY: GY/JPW DATE: SEPTEMBER 2, 2022  
 CHECKED BY: GY/CJD SCALE: 1"=200'  
 W.O. 222040  
 F.B. -----  
 FILE: FILE PATH: \\MSPTC\DATA\222000\222040 PLANNING\BOARD\ FILE NAME: PB-03-0000-REV2.DWG  
 SHEET 2 OF 15



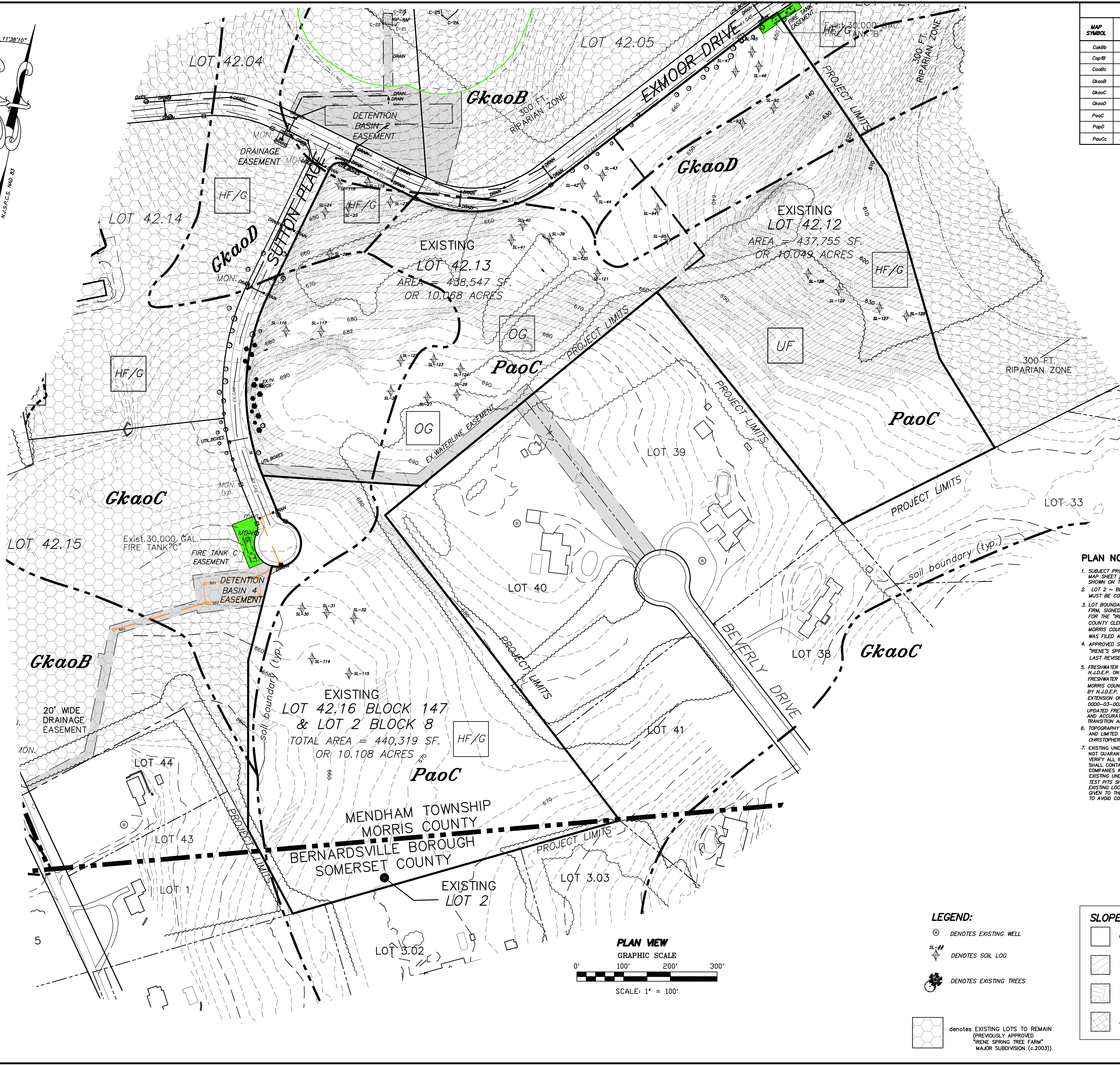
denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2003))

**EXISTING FIRE CISTERNS**

Mendham Township Ord. Section.16-10.2.w. Fire Protection Systems

- UNDERGROUND TANKS SHALL BE LOCATED AND INSTALLED SO THAT NO DWELLING IS FARTHER THAN 2000 LINEAR FEET FROM ANY SUCH TANK AS MEASURED ALONG THE STREET, EITHER PUBLIC OR PRIVATE, AND THE ACCESS DRIVEWAY TO THE DWELLING.  
 COMPLIES: THREE FIRE CISTERN TANKS PREVIOUSLY-APPROVED AND INSTALLED. (See Plan Note #4)
- "IN NO EVENT SHALL THE DISTANCE BETWEEN TANKS BE GREATER THAN 2000 LINEAR FEET."  
 COMPLIES: FIRE CISTERN TANKS ARE LESS THAN 2000 LINEAR FEET APART.
- "AT LEAST ONE TANK SHALL BE INSTALLED FOR EACH 2000 LINEAR FEET OF STREET LENGTH OR THEREOF."  
 COMPLIES: FIRE CISTERN TANKS HAD BEEN INSTALLED FOR EACH 2000 LINEAR FEET OF STREET LENGTH.
- "THE MAXIMUM CAPACITY OF EVERY UNDERGROUND WATER STORAGE TANK WITHIN RESIDENTIAL ZONE DISTRICTS SHALL BE 30,000 USABLE GALLONS."  
 COMPLIES: THREE EXISTING 30,000 GAL. FIRE CISTERN TANKS.
- "THE LOCATIONS OF ALL FIRE PROTECTION SYSTEMS AND APPURTENANCES SHALL BE APPROVED BY THE MENDHAM TOWNSHIP FIRE OFFICIAL."  
 COMPLIES: THREE FIRE CISTERN TANKS PREVIOUSLY-APPROVED AND INSTALLED. (See Plan Note #4)

NORTH BY FILED MAP NO. 5801  
N.L.S.P.C.S. MD 83  
11:38'10"



**SOILS CLASSIFICATION PROPERTIES**

MAP SYMBOL	SOIL SERIES	SLOPE	DEPTH TO SEASONAL GROUNDWATER	DEPTH TO BEDROCK
CoaBb	CALIFON LOAM	0-8%	1.5 FT.	> 6.5 FT.
CapB	CALIFON LOAM	3-8%	1.5 FT.	> 6.5 FT.
CoaBc	COKESBURY LOAM	0-8%	0.5 FT.	> 6.5 FT.
GkaoB	GLADSTONE GRAVELLY LOAM	3-8%	> 6.5 FT.	> 5.5 FT.
GkaoC	GLADSTONE GRAVELLY LOAM	8-15%	> 6.5 FT.	> 5.5 FT.
GkaoD	GLADSTONE GRAVELLY LOAM	15-25%	> 6.5 FT.	> 6.5 FT.
Paoc	PARKER GRAVELLY SANDY LOAM	3-15%	> 6.5 FT.	> 6.5 FT.
PapD	PARKER VERY GRAVELLY SANDY LOAM	15-25%	> 6.5 FT.	> 6.5 FT.
PouCc	PARKER-EDNEYVILLE EXTREMELY STONY SANDY LOAMS	3-15%	> 6.5 FT.	> 6.5 FT.

**SOIL LIMITATION DATA CHART**

SOIL SERIES & MAP SYMBOLS	DISPOSAL OF SEWAGE EFFLUENT (ONSITE)	SEPTIC SUITABILITY
CALIFON: CoaBb	SEVERE	IIII+M <sub>p</sub>
CALIFON VARIANT: CapB	SEVERE	IIII <sub>W</sub>
COKESBURY: CoaBc	SEVERE	IIII+M <sub>p</sub>
GLADSTONE: GkaoB	SLIGHT	I, IISc
GkaoC	MODERATE	IISc
GkaoD	SEVERE	IISc
PARKER: Paoc	MODERATE	IISc
PapD	SEVERE	IISc
PouCc	MODERATE	IISc

**EXISTING LOT AREA TABLE**

LOT NO.	ACRE
42.06	10.046
42.07	10.071
42.08	10.055
42.12	10.049
42.13	10.068
42.16	10.108
<b>TOTAL</b>	<b>60.398</b>

**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.L.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
- APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.L.D.E.P. ON NOV. 13, 2002, FILE NO. 1418-02-00041 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.L.D.E.P. ON AUG. 17, 1998, FILE NO. 0000-98-00031. ON MARCH 19, 2004, THE N.L.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2006, FILE NO. 0000-03-0025.1 (FWW 030001). UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.L.S. #34478. VERTICAL DATUM: NAVD 88
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.

- LEGEND:**
- ⊙ DENOTES EXISTING WELL
  - SL-## DENOTES SOIL LOG
  - 🌳 DENOTES EXISTING TREES
  - ⬜ denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE'S SPRING TREE FARM" MAJOR SUBDIVISION (c-2003))

- SLOPES LEGEND:**
- 0% - 10% SLOPES
  - 10% - 15% SLOPES
  - 15% - 25% SLOPES
  - > 25% SLOPES

- VEGETATION COMMUNITIES & FORESTED AREAS LEGEND:**
- HF/G HAYFIELD/GRASS/MAINTAINED LAWN
  - UF UPLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
  - WF WETLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
  - OG OAK GROVE CONSISTS MOSTLY OF OAKS (12-48") IN MAINTAINED MEADOW GRASS

**YANNACCONI VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24G27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	REISSUE
1	10/04/22	PER NJDEP

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLAN EXMOOR DRIVE & SUTTON PLACE LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147**  
TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**ENVIRONMENTAL CONSTRAINTS PLAN - EXISTING LOTS 42.12, 42.13, 42.16 & 2**

DRAWN BY: GY/JPW  
DATE: SEPTEMBER 2, 2022

CHECKED BY: GY/CJD  
SCALE: 1" = 100'

W.O. 222040  
F.B. -----

FILE:  
FILE PATH: M:\SEPTIC\DATA\222000\222040 PLANNING\BOARD  
FILE NAME: PB-02-0000-REV2.DWG

NORTH PER FILED MAP No. 5891  
N.J.S.P.C.S. AND 83



**SOILS CLASSIFICATION PROPERTIES**

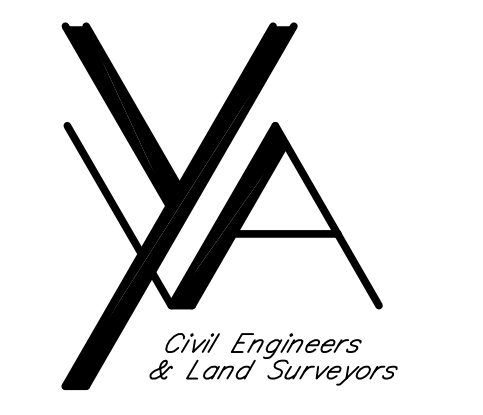
MAP SYMBOL	SOIL SERIES	SLOPE	DEPTH TO SEASONAL GROUNDWATER	DEPTH TO BEDROCK
CakBb	CALIFON LOAM	0-8%	1.5 FT.	> 6.5 FT.
CapB	CALIFON LOAM	3-8%	1.5 FT.	> 6.5 FT.
CooBc	COKEBURY LOAM	0-8%	0.5 FT.	> 6.5 FT.
GkooB	GLADSTONE GRAVELLY LOAM	3-8%	> 6.5 FT.	> 5.5 FT.
GkooC	GLADSTONE GRAVELLY LOAM	8-15%	> 6.5 FT.	> 5.5 FT.
GkooD	GLADSTONE GRAVELLY LOAM	15-25%	> 6.5 FT.	> 6.5 FT.
PaoC	PARKER GRAVELLY SANDY LOAM	3-15%	> 6.5 FT.	> 6.5 FT.
PapD	PARKER VERY GRAVELLY SANDY LOAM	15-25%	> 6.5 FT.	> 6.5 FT.
PauCc	PARKER-EDNEYVILLE EXTREMELY STONY SANDY LOAMS	3-15%	> 6.5 FT.	> 6.5 FT.

**SOIL LIMITATION DATA CHART**

SOIL SERIES & MAP SYMBOLS	DISPOSAL OF SEWAGE EFFLUENT (ONSITE)	SEPTIC SUITABILITY
CALIFON: CakBb	SEVERE	III+IV
CALIFON VARIANT: CapB	SEVERE	IIIW
COKEBURY: CooBc	SEVERE	III+IV
GLADSTONE: GkooB, GkooC, GkooD	SLIGHT MODERATE SEVERE	I, IIsc, IIsc, IIsc
PARKER: PaoC, PapD, PauCc	MODERATE SEVERE MODERATE	IIsc, IIsc, IIsc

**EXISTING LOT AREA TABLE**

LOT NO.	ACRE
42.06	10.046
42.07	10.071
42.08	10.055
42.12	10.049
42.13	10.068
42.16	10.108
<b>TOTAL</b>	<b>60.398</b>



**YANNACCON VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591

N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24G27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	REISSUE
1	10/04/22	PER NJDEP

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**ENVIRONMENTAL CONSTRAINTS PLAN - EXISTING LOTS**  
42.06, 42.07, 42.08

DRAWN BY: GY/JPW DATE: SEPTEMBER 2, 2022

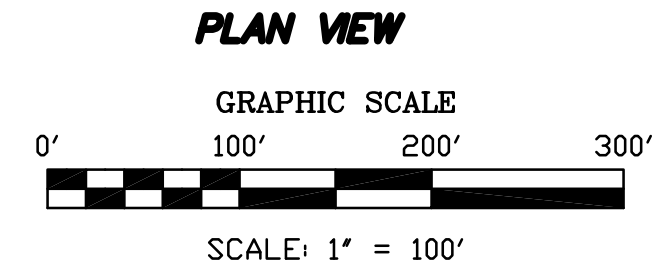
CHECKED BY: GY/CJD SCALE: 1" = 100'

W.O. 222040 F.B. -----

FILE: FILE PATH: N:\SEPP\DATA\222000\222040 PLANNING\BOARD FILE NAME: PB-02-0000-RV2.DWG

SHEET 4 OF 15

- PLAN NOTES:**
- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
  - LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
  - LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S.P.C.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "TRENNE'S SPRING TREE FARM ESTATES" SUBDIVISION, PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
  - APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "TRENNE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
  - FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE NO. 1419-02-0004.1 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE NO. 0000-98-0003.1, ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-0025.1 (FWW 030001). UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS ARE UNDER REDEVELOPMENT AND PENDING.
  - TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S.P.C.S. #34478. VERTICAL DATUM: NAVD 88
  - EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.

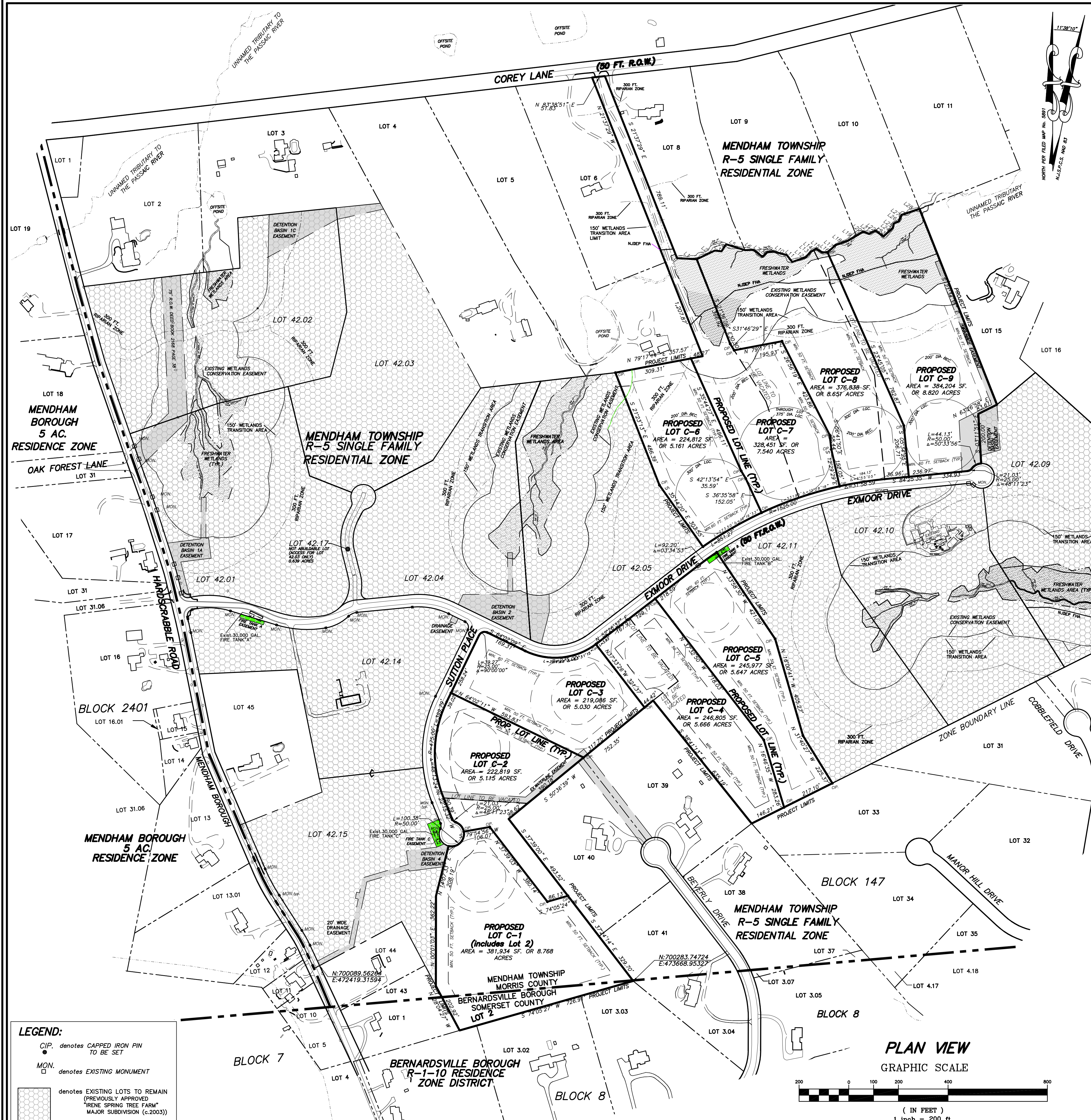


**SLOPES LEGEND:**

	0% - 10% SLOPES
	10% - 15% SLOPES
	15% - 25% SLOPES
> 25% SLOPES symbol"/>	> 25% SLOPES

- LEGEND:**
- DENOTES EXISTING WELL
  - DENOTES SOIL LOG
  - DENOTES EXISTING TREES
  - denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "TRENNE'S SPRING TREE FARM" MAJOR SUBDIVISION (c.2003))

- VEGETATION COMMUNITIES & FORESTED AREAS LEGEND:**
- HAYFIELD/GRASS/MAINTAINED LAWN
  - UPLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
  - WETLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
  - OAK GROVE CONSISTS MOSTLY OF OAKS (12-48") IN MAINTAINED MEADOW GRASS



**MENDHAM TOWNSHIP ZONING SCHEDULE**  
**R-5 SINGLE-FAMILY RESIDENTIAL ZONE : PROPOSED LOTS**

ORDINANCE ITEM	REQUIRED (MENDHAM TWP R-5 RESIDENTIAL ZONE)	PROPOSED LOT C-1 / EXISTING LOT 2	PROPOSED LOT C-2	PROPOSED LOT C-3 (CORNER)	PROPOSED LOT C-4	PROPOSED LOT C-5
MIN. LOT AREA	5.0 AC	8,768 AC	5,115 AC	5,030 AC	5,666 AC	5,647 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	215,493 SF	103,403 SF	122,063 SF	132,499 SF	124,230 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	215,493 SF	94,210 SF	122,063 SF	132,499 SF	124,230 SF
MIN. LOT FRONTAGE	100 FT	100.38 FT	511.21 FT	258.24 FT	301.07 FT	310.79 FT
MIN. LOT GEOMETRY CIRCLE (LGC)*	300 FT / 375 FT DIA	300 FT	300 FT	375 FT	300 FT	300 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	200 FT	200 FT	200 FT	200 FT	200 FT
MIN. SIDE YARD SETBACK **	50 FT / 80 FT	50 FT	50 FT	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT / 90 FT	60 FT	60 FT	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT / 80 FT	50 FT	50 FT	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT/2.5 STORIES	35/2.5 STY	35/2.5 STY	35/2.5 STY	35/2.5 STY	35/2.5 STY
MAX. FLOOR AREA=2600 SF+(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	17,505 SF	11,295 SF	11,151 SF	12,232 SF	12,199 SF

**R-5 SINGLE-FAMILY RESIDENTIAL ZONE : PROPOSED LOTS**

ORDINANCE ITEM	REQUIRED (MENDHAM TWP R-5 RESIDENTIAL ZONE)	PROPOSED LOT C-6	PROPOSED LOT C-7 (THROUGH)	PROPOSED LOT C-8	PROPOSED LOT C-9
MIN. LOT AREA	5.0 AC	5,161 AC	7,540 AC	8,651 AC	8,820 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	123,633 SF	129,679 SF	127,929 SF	133,677 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	123,633 SF	127,788 SF	127,929 SF	133,677 SF
MIN. LOT FRONTAGE	100 FT	273.50 FT	331.95 FT	282.10 FT	302.13 FT
MIN. LOT GEOMETRY CIRCLE (LGC)*	300 FT / 375 FT DIA	300 FT	375 FT	300 FT	300 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	200 FT	200 FT	200 FT	200 FT
MIN. SIDE YARD SETBACK **	50 FT / 80 FT	50 FT	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT / 90 FT	60 FT	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT / 80 FT	50 FT	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT/2.5 STORIES	35/2.5 STY	35/2.5 STY	35/2.5 STY	35/2.5 STY
MAX. FLOOR AREA=2600 SF+(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	11,374 SF	15,418 SF	17,561 SF	18,236 SF

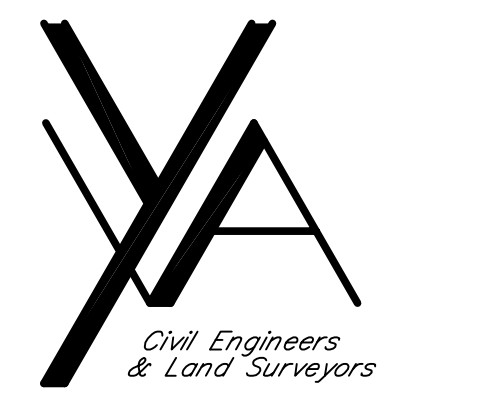
\* WHEN A LOT FACES ON MORE THAN ONE STREET, THE REQUIRED DIAMETER OF L.G.C. SHALL BE INCREASED BY 25%.  
 \*\* IN THE R-5 ZONE THE MINIMUM SETBACKS OF STRUCTURES WITH HEIGHTS OVER TWENTY (20) FEET SHALL BE INCREASED BY TWO (2) FEET FOR EACH ONE FOOT OF THE HEIGHT OF THE STRUCTURE IN EXCESS OF TWENTY (20) FEET. THE SECOND NUMBERS SHOWN ASSUME A MAXIMUM PRINCIPAL BUILDING 35 FEET HEIGHT OR A MAXIMUM 30 FEET ACCESSORY BUILDING HEIGHT.

**LOT LINE TABLE**

PROP. LOT	LINE	BEARING	DISTANCE
C-7	L1	N 87°01'32" W	78.87'
C-8	L2	N 64°40'38" E	80.01'
C-8	L3	S 83°33'25" E	27.02'
C-8	L4	S 34°23'07" W	34.44'
C-8	L5	S 72°32'33" E	79.19'
C-8	L6	N 87°33'23" E	34.40'
C-8	L7	S 51°38'15" E	45.57'
C-8	L8	N 44°21'32" E	26.38'
C-8	L9	N 83°14'11" E	24.96'
C-8	L10	S 75°14'16" E	56.74'
C-8	L11	S 37°54'03" E	35.44'
C-8	L12	N 70°47'58" E	58.01'
C-8	L13	N 42°51'22" E	32.72'
C-8	L14	N 61°35'01" E	21.88'
C-8	L15	S 57°35'07" E	26.94'
C-8	L16	S 89°28'07" E	23.90'
C-9	L17	N 47°53'09" E	44.08'
C-9	L18	N 69°46'43" E	55.05'
C-9	L19	N 59°19'45" E	36.54'
C-9	L20	N 59°07'51" E	31.46'
C-9	L21	S 70°30'39" E	25.64'
C-9	L22	N 63°04'31" E	28.46'
C-9	L23	S 54°03'09" E	44.44'
C-9	L24	N 47°49'11" E	51.50'
C-9	L25	N 11°21'21" E	17.79'
C-9	L26	N 65°41'41" E	21.91'
C-9	L27	N 23°48'31" E	28.00'
C-9	L28	N 71°31'41" E	76.51'

**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREIN IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, DATED DECEMBER 6, 2007, AND MARCH 6, 2007 FOR THE "RENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 2881-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 2881-2, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
- APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "RENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE NO. 1419-02-00041 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 12, 1998, FILE NO. 0000-00-00031. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-00051 (FWW 030001).
- UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREA AND RIPARIAN ZONE ARE UNDER NLEP REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NAD83 LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.E.S.#4478. VERTICAL DATUM: NAVD 83.
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREIN IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-251-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO ENSURE AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING AS SHOWN HEREIN ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS. ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNER, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.



**YANNACCONI  
 VILLA  
 & ALDRICH, LLC**

460 MAIN STREET, P.O. BOX 459  
 CHESTER, NEW JERSEY 07930  
 PHONE: 908-879-6646  
 FAX: 908-879-8591

N.J. STATE BOARD OF P.E. & L.S.  
 CERTIFICATION OF AUTHORIZATION  
 No. 246A27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**

N.J. PROFESSIONAL ENGINEER  
 NO. 246E04527000 DATE 11/16/22

*Ryan L. Smith*  
**RYAN L. SMITH**

NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
 AND LAND SURVEYOR No. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	REISSUE
1	10/04/22	REV. PER TWP. TRC. & N.J.D.E.P.
NO.	DATE	REVISION

PROJECT TITLE:  
**LAWRENCE  
 FARM ESTATES  
 MAJOR SUBDIVISION PLANS**  
 EXMOOR DRIVE & SUTTON PLACE  
 LOTS 42.06, 42.07, 42.08 &  
 LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
 TAX MAP SHEET 33  
 TOWNSHIP OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY  
 LOT 2 ~ BLOCK 8  
 TAX MAP SHEET 8  
 BOROUGH OF BERNARDSVILLE  
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**MAJOR  
 SUBDIVISION  
 PLAN**

DRAWN BY: DATE:  
 GY/JPW SEPT 2, 2022

CHECKED BY: SCALE:  
 GY/CJD 1"=200'

W.O. 222040

F.B. \_\_\_\_\_  
 FILE: FILE PATH: M:\SEPTIC\DATA\222004\222040  
 PLANNING\DWG: FILE NAME: PB-02-0000-REV2.DWG

**LEGEND:**

- CIP. denotes CAPPED IRON PIN TO BE SET
- MON. denotes EXISTING MONUMENT
- denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "RENE'S SPRING TREE FARM" MAJOR SUBDIVISION (c.2003))

**PLAN VIEW**  
 GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 200 ft.

**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 to 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 to 16-3, ON APRIL 13, 2007.
- APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE No. 1419-02-0004.1 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE No. 0000-98-0003.1. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-0025.1 (FWW 030001). UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S. #34478. VERTICAL DATUM: NAVD 88
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING AS SHOWN HEREON ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS, ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNERS, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.

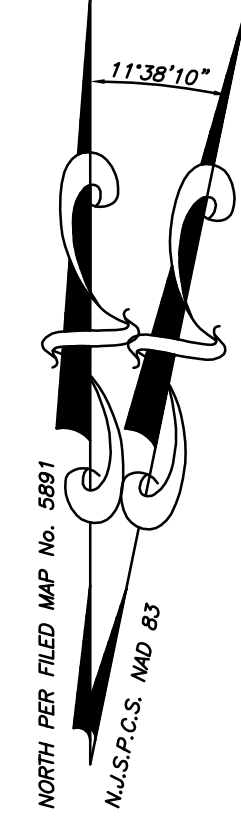
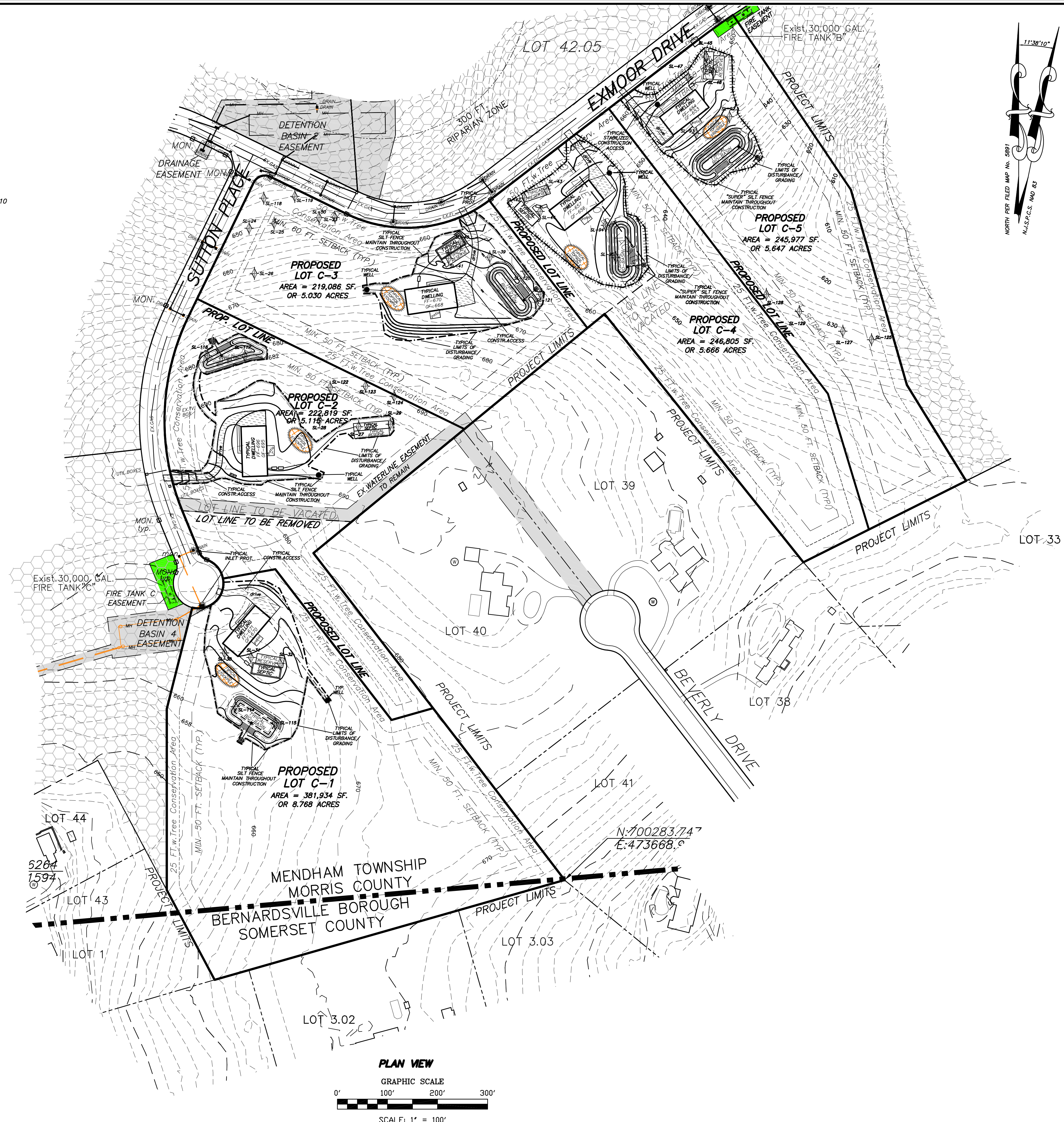
**Individual Lot Development Notes:**

- Any development of the individual proposed lots will be required to provide its own stormwater management design, as a 'Major Stormwater Development', which will be the responsibility of the individual homeowners, regardless of the individual lot development size.
- Prior to the start of any lot development construction at the proposed lots, individual homeowners shall submit a 'Stormwater Management Operations & Maintenance' manual for review and approval by Mendham Township. The deed notice for the approved 'Stormwater Management Operations & Maintenance' manual must be filed prior to a Certificate of Occupancy.

**LEGEND:**

- denotes Existing Well
- denotes Typical Well
- SL-## denotes SOIL LOG

denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2003))



**YANNACONE VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24A27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24E04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	PER PLAN.BD.MTG.10/19/22
1	10/04/22	REISSUE

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM  
MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE  
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - PROPOSED LOTS C-1, C-2, C-3, C-4, C-5**

DRAWN BY: GY/JPW  
DATE: SEPTEMBER 2, 2022  
CHECKED BY: GY/CJD  
SCALE: 1" = 100'

W.O. 222040  
F.B. -----  
FILE:  
FILE PATH: M:\SEPTIC\DATA\222000\222040  
PLANNINGBOARD  
FILE NAME: PB-02-0000-REV2.DWG



**YANNACCONI  
VILLA  
& ALDRICH, LLC**

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591

N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24GA27934500

*Candice J. Davis*

**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER

NO. 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	PER PLAN.BD.MTG.10/19/22
1	10/04/22	REV. PER TWP.TR.C. & NJDEP

PROJECT TITLE:  
**LAWRENCE  
FARM ESTATES  
MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 &  
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TOWNSHIP OF MENDHAM  
MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
BOROUGH OF BERNARDSVILLE  
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**GRADING AND  
SOIL EROSION &  
SEDIMENT CONTROL PLAN -  
PROPOSED LOTS  
C-6, C-7, C-8, C-9**

DRAWN BY: GY/IPW DATE: SEPTEMBER 2, 2022

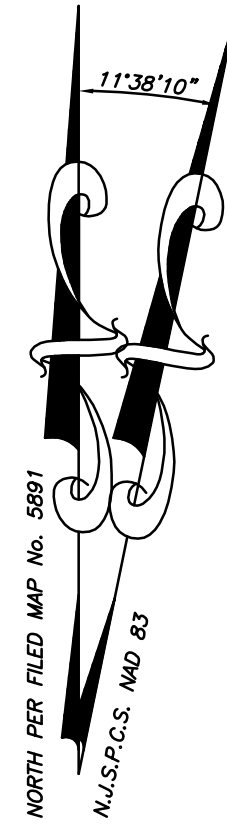
CHECKED BY: GY/CJD SCALE: 1" = 100'

W.O. 222040

F.B. -----

FILE:

FILE PATH: M:\SEPTIC\DATA\222000\222040  
PLANNINGBOARD  
FILE NAME: PB-02-000-REV2.DWG



**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
- APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-11 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE No. 1419-02-0004.1 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE No. 0000-98-0003.1. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-0025.1 (FWW 030001). UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S. #34478. VERTICAL DATUM: NAVD 88
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING AS SHOWN HEREON ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS. ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNERS, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.

**Individual Lot Development Notes:**

- Any development of the individual proposed lots will be required to provide its own stormwater management design, as a 'Major Stormwater Development', which will be the responsibility of the individual homeowners, regardless of the individual lot development size.
- Prior to the start of any lot development construction at the proposed lots, individual homeowners shall submit a 'Stormwater Management Operations & Maintenance' manual for review and approval by Mendham Township. The deed notice for the approved 'Stormwater Management Operations & Maintenance' manual must be filed prior to a Certificate of Occupancy.

**LEGEND:**

⊙ denotes Existing Well

● denotes Typical Well

SL-## denotes SOIL LOG

denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2003))

**PLAN VIEW**

GRAPHIC SCALE



SCALE: 1" = 100'

# MENDHAM TWP TYPICAL SLOPE DISTURBANCE TABULATION

PROPOSED LOT C-1								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	375,901	0	53,562	53,562	14%	NO LIMIT	COMPLIES
	10-15%	5,890	0	140	140	2%	25%	COMPLIES
	15-25%	143	0	0	0	0%	15%	COMPLIES
	>25%	0	0	0	0	0%	5%	COMPLIES

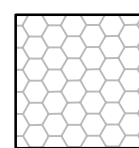
PROPOSED LOT C-2								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	148,471	0	47,516	47,516	32%	NO LIMIT	COMPLIES
	10-15%	57,143	0	5,344	5,344	9%	25%	COMPLIES
	15-25%	16,261	0	578	578	3.6%	15%	COMPLIES
	>25%	944	0	0	0	0%	5%	COMPLIES

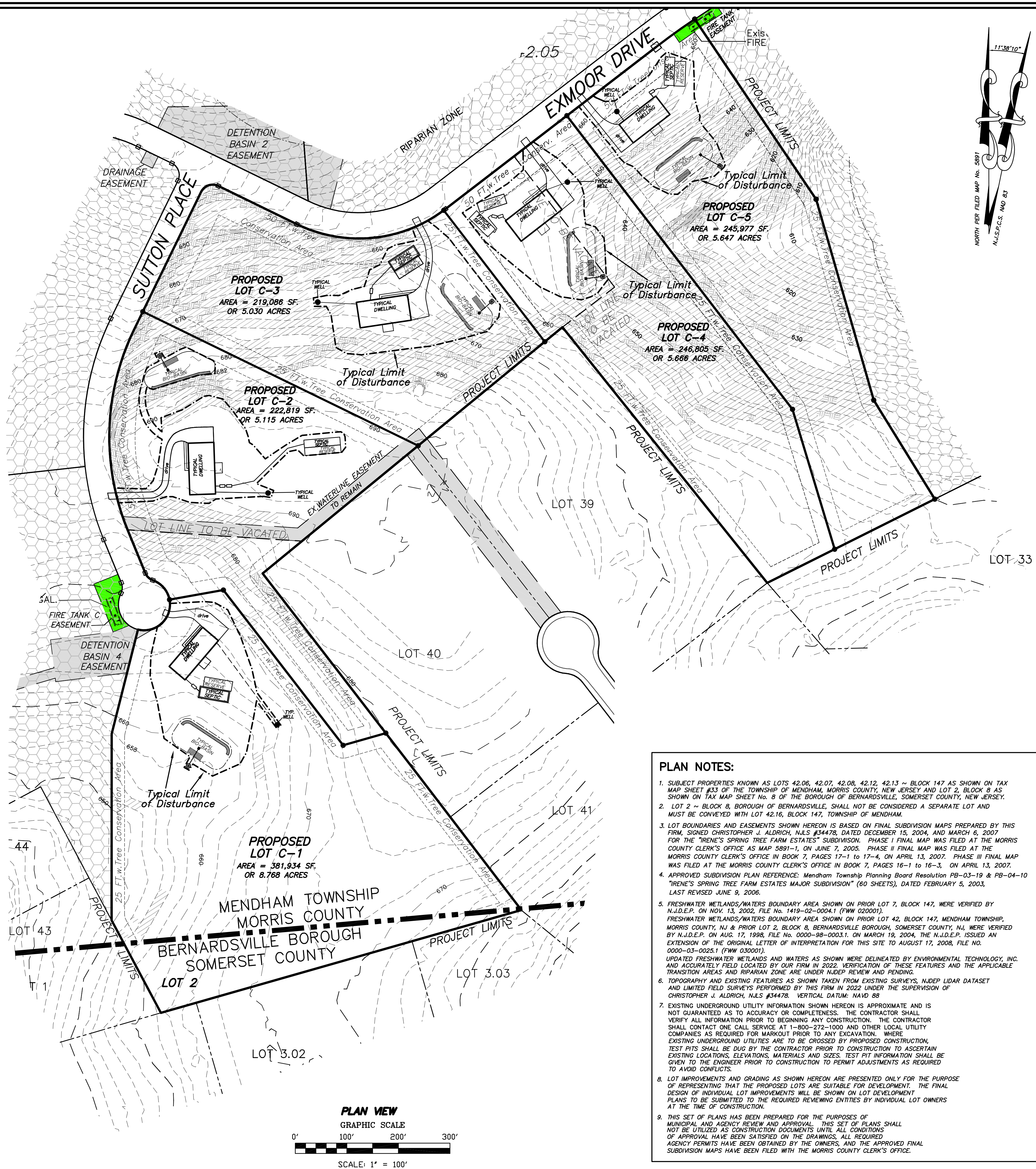
PROPOSED LOT C-3								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	80,069	0	33,879	33,879	42%	NO LIMIT	COMPLIES
	10-15%	109,790	0	18,022	18,022	16%	25%	COMPLIES
	15-25%	27,665	0	1,537	1,537	5.5%	15%	COMPLIES
	>25%	1,562	0	0	0	0%	5%	COMPLIES

PROPOSED LOT C-4								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	136,397	0	41,376	41,376	30%	NO LIMIT	COMPLIES
	10-15%	94,871	0	6,235	6,235	6.5%	25%	COMPLIES
	15-25%	15,418	0	0	0	0%	15%	COMPLIES
	>25%	119	0	0	0	0%	5%	COMPLIES

PROPOSED LOT C-5								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	102,934	0	17,901	17,901	17%	NO LIMIT	COMPLIES
	10-15%	116,356	0	20,450	20,450	17.5%	25%	COMPLIES
	15-25%	25,358	0	2,662	2,662	10.5%	15%	COMPLIES
	>25%	1,329	0	0	0	0%	5%	COMPLIES

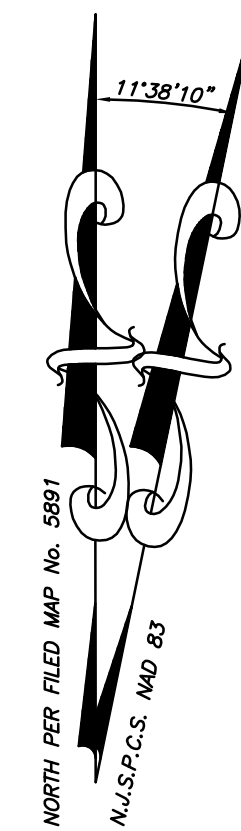
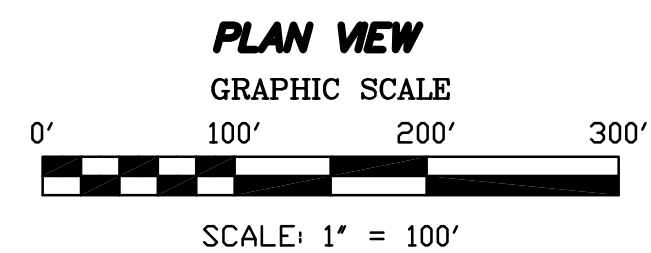
NOTE: STEEP SLOPES ANALYSIS BASED ON 2 FOOT CONTOUR INTERVALS.

 denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2003))



### PLAN NOTES:

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
- APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE NO. 1419-02-004.1 (FW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE NO. 0000-98-0003.1. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-025.1 (FW 030001).
- UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NADEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S. #34478. VERTICAL DATUM: NAVD 88
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING AS SHOWN HEREON ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS, ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNERS, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.



**YANNACONE VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24GE04527000

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	PER PLAN.BD.MTG.10/19/22
1	10/04/22	REISSUE

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**SLOPE ANALYSIS PLAN - PROPOSED LOTS C-1, C-2, C-3, C-4, C-5**

DRAWN BY: GY/JPW	DATE: SEPTEMBER 2, 2022
CHECKED BY: GY/CJD	SCALE: 1" = 100'
W.O. 222040	
F.B. -----	

FILE:  
FILE PATH: M:\SEPTIC\DATA\222000\222040 PLANNING\BOARD  
FILE NAME: PB-03-0000-REV2.DWG



**MENDHAM TWP**  
**TYPICAL SLOPE DISTURBANCE TABULATION**

PROPOSED LOT C-6								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	23,547	0	12,855	12,855	54.6%	NO LIMIT	COMPLIES
	10-15%	95,427	0	19,574	19,574	20.5%	25%	COMPLIES
	15-25%	98,961	0	9,926	9,926	10%	15%	COMPLIES
	>25%	6,877	0	100	100	1.5%	5%	COMPLIES

PROPOSED LOT C-7								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	67,382	0	3,764	3,764	5.6%	NO LIMIT	COMPLIES
	10-15%	149,742	0	26,539	26,539	18%	25%	COMPLIES
	15-25%	96,457	0	12,178	12,178	12.6%	15%	COMPLIES
	>25%	14,870	0	564	564	3.8%	5%	COMPLIES

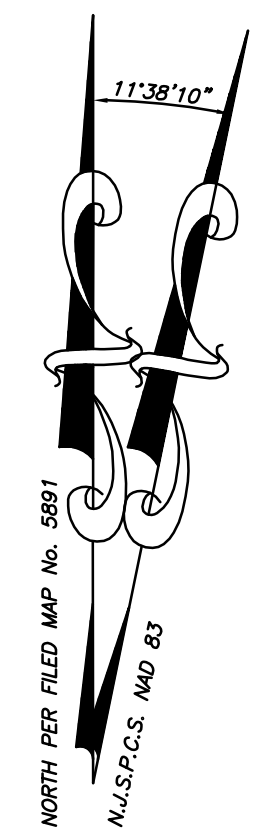
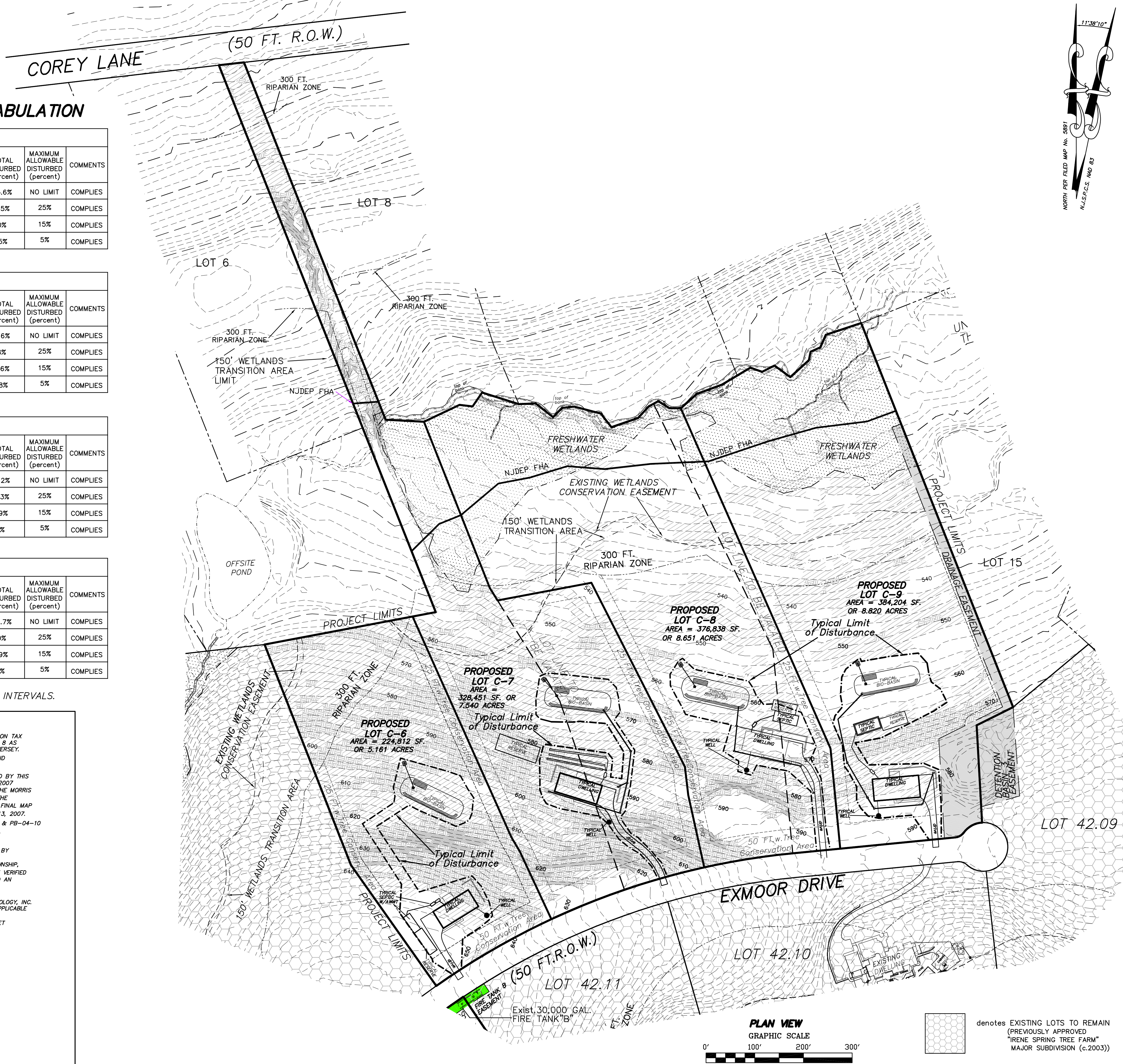
PROPOSED LOT C-8								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	235,805	0	12,217	12,217	5.2%	NO LIMIT	COMPLIES
	10-15%	114,454	0	25,002	25,002	17.3%	25%	COMPLIES
	15-25%	22,616	0	2,236	2,236	9.9%	15%	COMPLIES
	>25%	3,963	0	0	0	0%	5%	COMPLIES

PROPOSED LOT C-9								
LAND SLOPE		AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	210,039	0	35,129	35,129	16.7%	NO LIMIT	COMPLIES
	10-15%	143,835	0	14,572	14,572	10%	25%	COMPLIES
	15-25%	26,790	0	1,842	1,842	6.9%	15%	COMPLIES
	>25%	3,540	0	0	0	0%	5%	COMPLIES

NOTE: STEEP SLOPES ANALYSIS BASED ON 2 FOOT CONTOUR INTERVALS.

**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
- APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE NO. 1419-02-0004.1 (FWW 000001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE NO. 0000-98-0003.1. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-0025.1 (FWW 030001).
- UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NADEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S. #34478. VERTICAL DATUM: NAVD 88
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING AS SHOWN HEREON ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS, ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNERS, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.



**YANNACONE VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24GA27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	PER PLAN.BD.MTG.10/19/22
1	10/04/22	REV. PER TWP.TR.C. & NJDEP

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TWP MAP SHEET 33  
TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
LAW MAP SHEET 8  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**SLOPE ANALYSIS PLAN - PROPOSED LOTS C-6, C-7, C-8, C-9**

DRAWN BY: GY/JPW DATE: SEPTEMBER 2, 2022

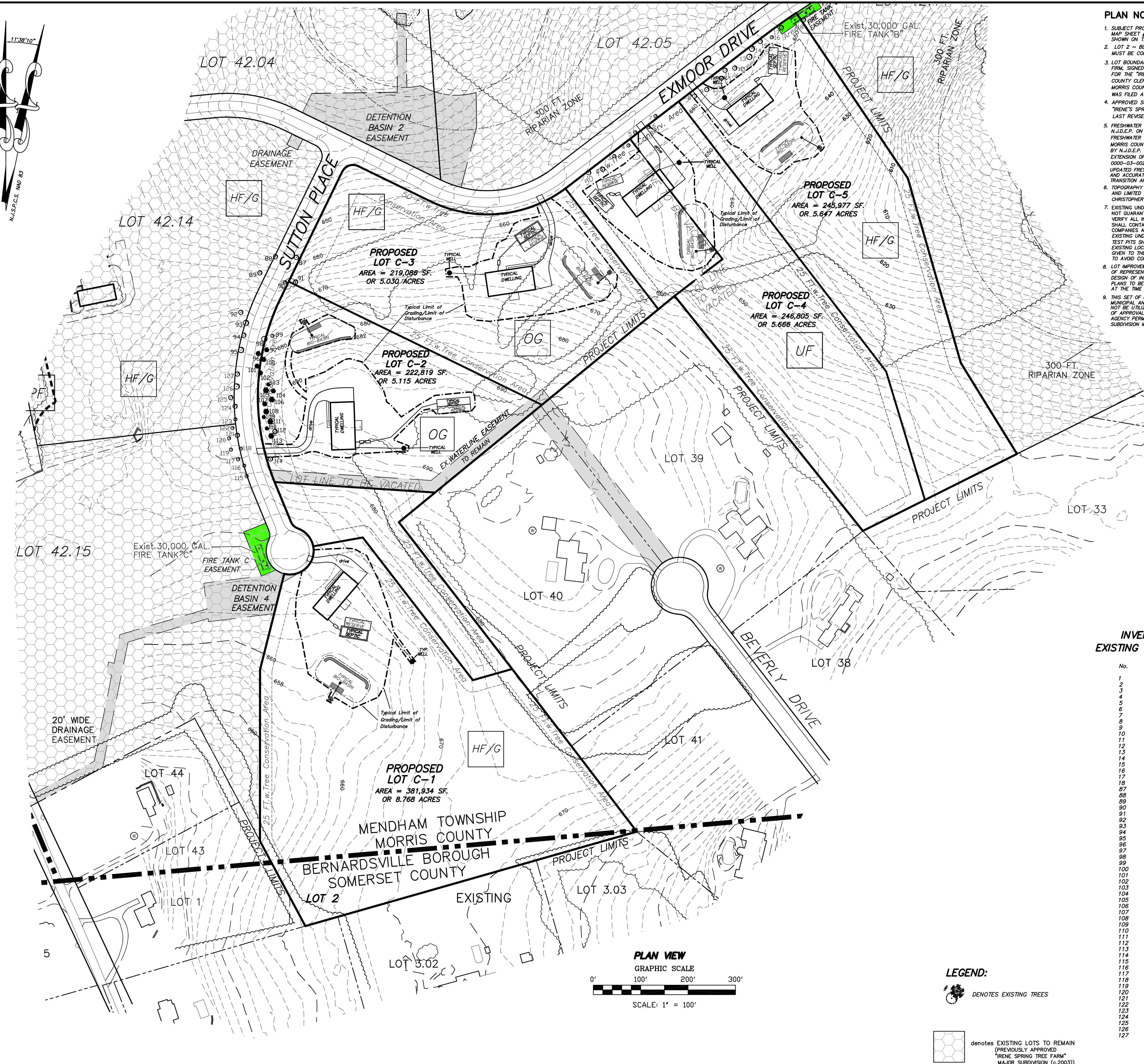
CHECKED BY: GY/CJD SCALE: 1" = 100'

W.O. 222040

F.B. -----

FILE:  
FILE PATH: M:\SEPTIC\DATA\222000\222040 PLANNINGBOARD  
FILE NAME: PB-02-0000-REV2.DWG

NORTH REF. FILED MAP No. 5801  
N.J.S.P.C.S. MD 83



**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S.P.C.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
- APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE NO. 1419-02-00041 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE NO. 0000-98-00031. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2004, FILE NO. 0000-03-00251 (FWW 030001). UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S.P.C.S. #34478. VERTICAL DATUM: NAVD 88
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING AS SHOWN HEREON ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS. ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNERS, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.

**YANNACONE VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24G27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
1	11/16/22	PER PLAN.BD.MTG.10/19/22
1	10/04/22	REV. PER NJDEP

**INVENTORY OF EXISTING STREET TREES**

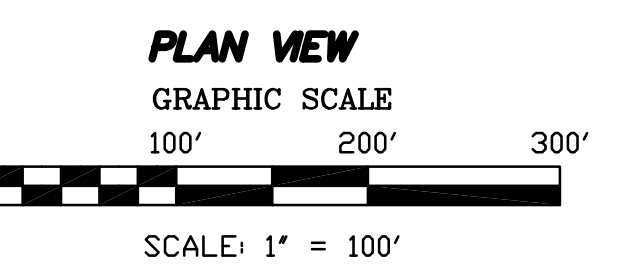
No.	DESCRIPTION
1	8" OAK
2	8" OAK
3	6" OAK
4	6" OAK
5	6" ASH
6	6" ASH
7	6" ASH
8	8" OAK
9	8" OAK
10	8" OAK
11	8" OAK
12	8" OAK
13	10" ASH
14	10" OAK
15	8" OAK
16	6" OAK
17	8" OAK
18	8" MAPLE
87	8" OAK
88	8" OAK
89	8" OAK
90	6" OAK
91	8" OAK
92	8" TREE
93	10" TREE
94	8" TREE
95	10" MAPLE
96	10" SPRUCE
97	10" SPRUCE
98	10" TREE
99	6" BEECH
100	10" SPRUCE
101	10" SPRUCE
102	10" SPRUCE
103	8" SPRUCE
104	10" SPRUCE
105	12" SPRUCE
106	12" SPRUCE
107	10" SPRUCE
108	12" SPRUCE
109	8" SPRUCE
110	8" SPRUCE
111	12" SPRUCE
112	8" TREE
113	12" SPRUCE
114	8" OAK
115	6" OAK
116	6" OAK
117	6" OAK
118	6" OAK
119	6" OAK
120	6" MAPLE
121	8" MAPLE
122	6" OAK
123	6" MAPLE
124	8" TREE
125	8" TREE
126	10" OAK
127	8" MAPLE

**VEGETATION COMMUNITIES & FORESTED AREAS LEGEND:**

- HF/G HAYFIELD/GRASS/MAINTAINED LAWN
- UF UPLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY/POPLAR (12-48" DIA.)
- WF WETLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY/POPLAR (12-48" DIA.)
- OG OAK GROVE CONSISTS MOSTLY OF OAKS (12-48") IN MAINTAINED MEADOW GRASS

**LEGEND:**

- denotes EXISTING TREES
- denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE'S SPRING TREE FARM" MAJOR SUBDIVISION (c-2003))



PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**EXISTING LANDSCAPING INVENTORY PLAN - PROPOSED LOTS C-1, C-2, C-3, C-4, C-5**

DRAWN BY: GY/JPW DATE: SEPTEMBER 2, 2022

CHECKED BY: GY/CJD SCALE: 1" = 100'

W.O. 222040 F.B. -----

FILE:  
FILE PATH: M:\SEPTIC\DATA\222000\222040 PLANNING\BOARD FILE NAME: PB-02-0000-REV2.DWG

SHEET 10 of 15



**YANNACCON  
VILLA  
& ALDRICH, LLC**

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591

N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24GA27934500

*Candice J. Davis*

**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER

NO. 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
2	11/16/22	PER PLAN.BD.MTG.10/19/22
1	10/04/22	REV. PER TWP.TRC. & NJDEP

PROJECT TITLE:  
**LAWRENCE  
FARM ESTATES  
MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 &  
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM  
MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
BOROUGH OF BERNARDSVILLE  
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**EXISTING LANDSCAPING  
INVENTORY PLAN -  
PROPOSED LOTS  
C-6, C-7, C-8, C-9**

DRAWN BY: GY/JPW  
DATE: SEPTEMBER 2, 2022

CHECKED BY: GY/CJD  
SCALE: 1" = 100'

W.O. 222040

F.B. -----

FILE:  
FILE PATH: M:\SEPTIC\DATA\222000\222040  
PLANNINGBOARD  
FILE NAME: PB-02-0000-REV2.DWG

**VEGETATION COMMUNITIES & FORESTED AREAS LEGEND:**

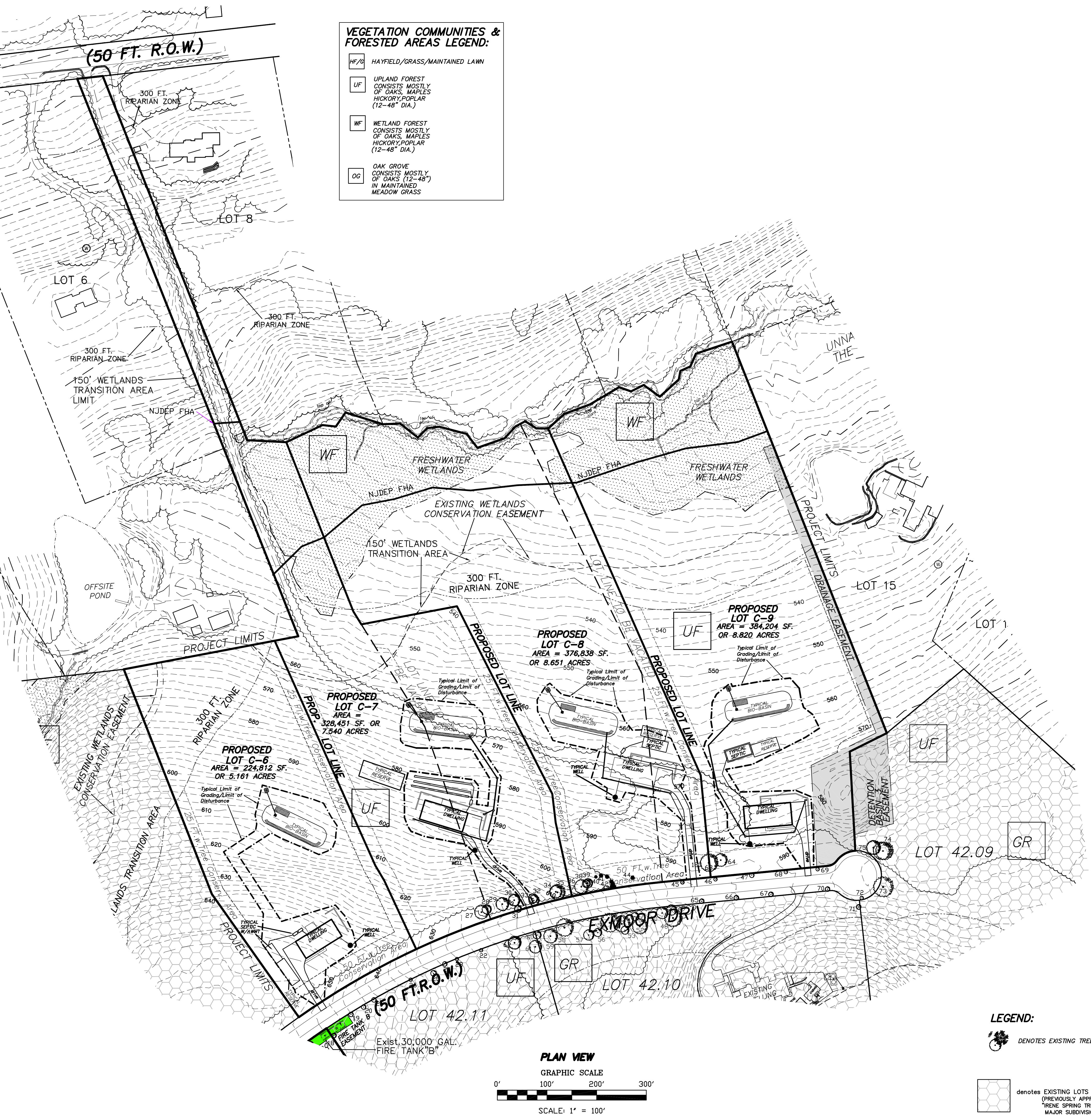
- HF/G HAYFIELD/GRASS/MAINTAINED LAWN
- UF UPLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
- WF WETLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
- OG OAK GROVE CONSISTS MOSTLY OF OAKS (12-48") IN MAINTAINED MEADOW GRASS

**INVENTORY OF EXISTING STREET TREES**

No.	DESCRIPTION
19	8" MAPLE
20	8" OAK
21	8" OAK
22	6" MAPLE
23	6" OAK
24	8" OAK
25	10" OAK
26	6" OAK
27	24" OAK
28	16" OAK
29	22" OAK
30	20" OAK
31	12" BEECH
32	18" BIRCH
33	16" BIRCH
34	22" OAK
35	26" OAK
36	14" BEECH
37	24" TULIP
38	16" CHERRY
39	6" SPRUCE
40	8" SPRUCE
41	8" SPRUCE
42	8" SPRUCE
43	12" SPRUCE
44	8" SPRUCE
45	6" MAPLE
46	6" MAPLE
47	8" MAPLE
48	30" OAK
49	18" OAK
50	20" OAK
51	14" TULIP
52	26" OAK
53	14" BIRCH
54	28" OAK
55	32" TULIP
56	14" BIRCH
57	18" BIRCH
58	30" TULIP
59	24" OAK
60	14" BIRCH
61	22" BIRCH
62	22" BIRCH
63	30" OAK
64	22" OAK
65	8" MAPLE
66	8" MAPLE
67	8" MAPLE
68	8" MAPLE
69	8" MAPLE
70	8" MAPLE
71	8" MAPLE
72	8" MAPLE
73	34" OAK
74	TWIN 36" OAK
75	24" OAK
76	10" TREE
77	8" MAPLE
78	8" MAPLE
79	8" MAPLE
80	10" TREE
81	6" TREE
82	8" TREE
83	10" TREE
84	8" OAK
85	12" TREE
86	6" MAPLE
128	8" MAPLE

**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET 333 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, M.E.S. #24478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
- APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE No. 1419-02-0004.1 (FW 02000). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE No. 0000-98-0003.1. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2006, FILE NO. 0000-03-0025.1 (FW 03000). UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, M.E.S. #24478. VERTICAL DATUM: NAVD 88.
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING AS SHOWN HEREON ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN OBTAINED ON THE DRAWINGS, ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNERS, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.

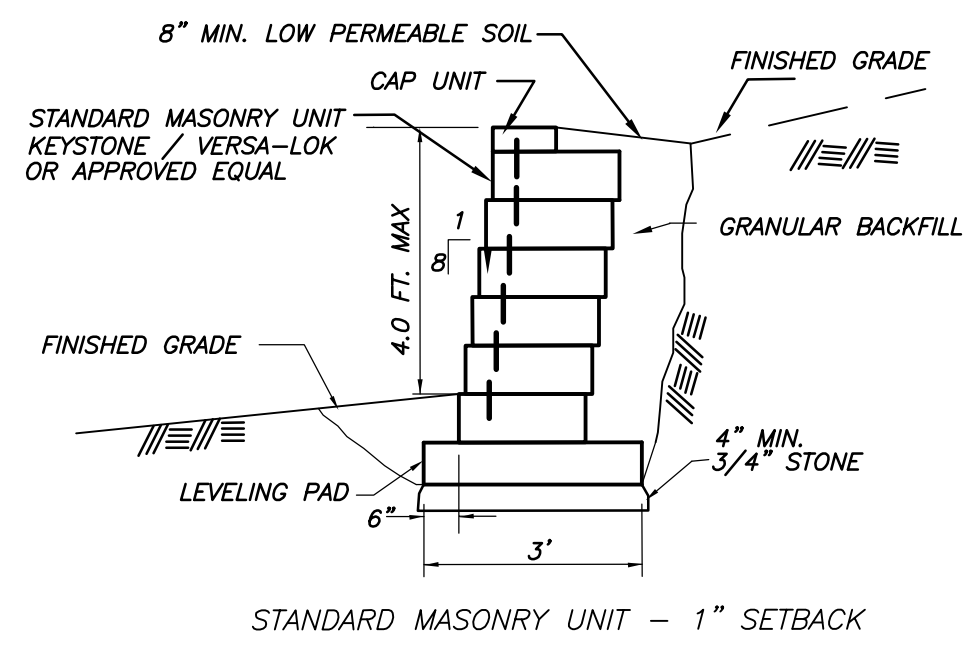


**PLAN VIEW**  
GRAPHIC SCALE  
0' 100' 200' 300'  
SCALE: 1" = 100'

**LEGEND:**

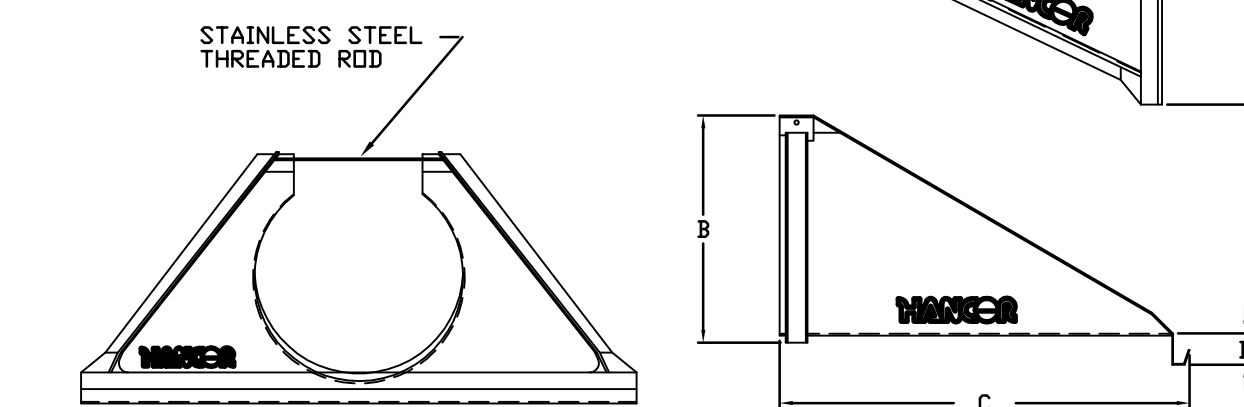
- DENOTES EXISTING TREES
- denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED) "IRENE'S SPRING TREE FARM" MAJOR SUBDIVISION (c.2003)



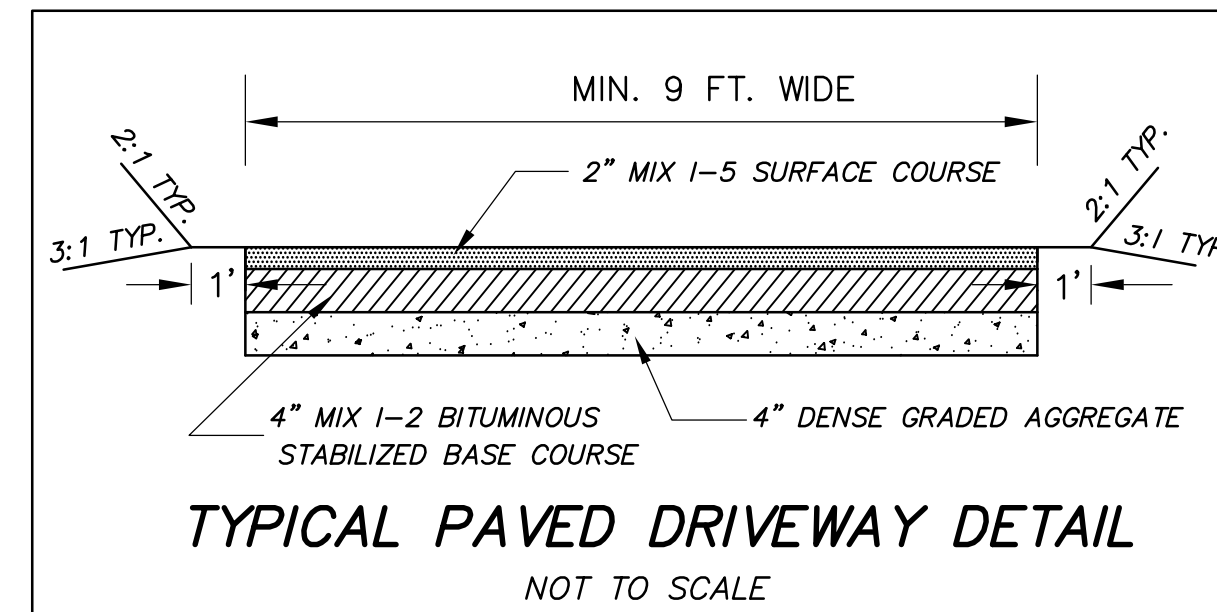


**TYPICAL MASONRY RETAINING WALL  
(OR APPROVED EQUAL)**  
NOT TO SCALE

DIMENSION	PIPE DIAMETER, IN.					
	10/12	15	18	24	30	36
A	42	46	54	64	88	88
B	14.5	24.5	29	37	36	43
C	33	45.5	55	65	63.5	66.5
D	6	6	6	6	6	6

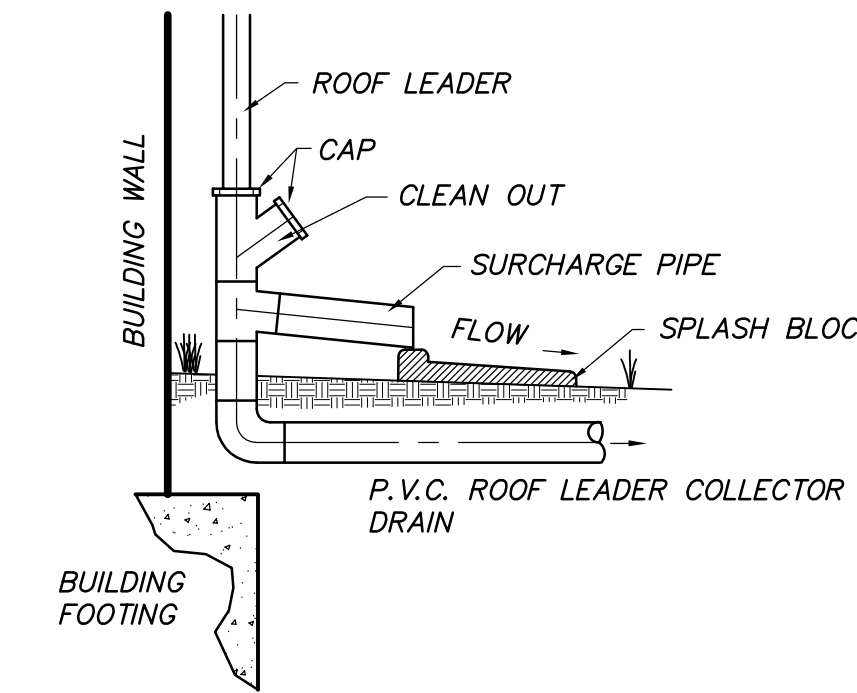


**TYPICAL HDPE FLARED END SECTION**  
N.T.S.

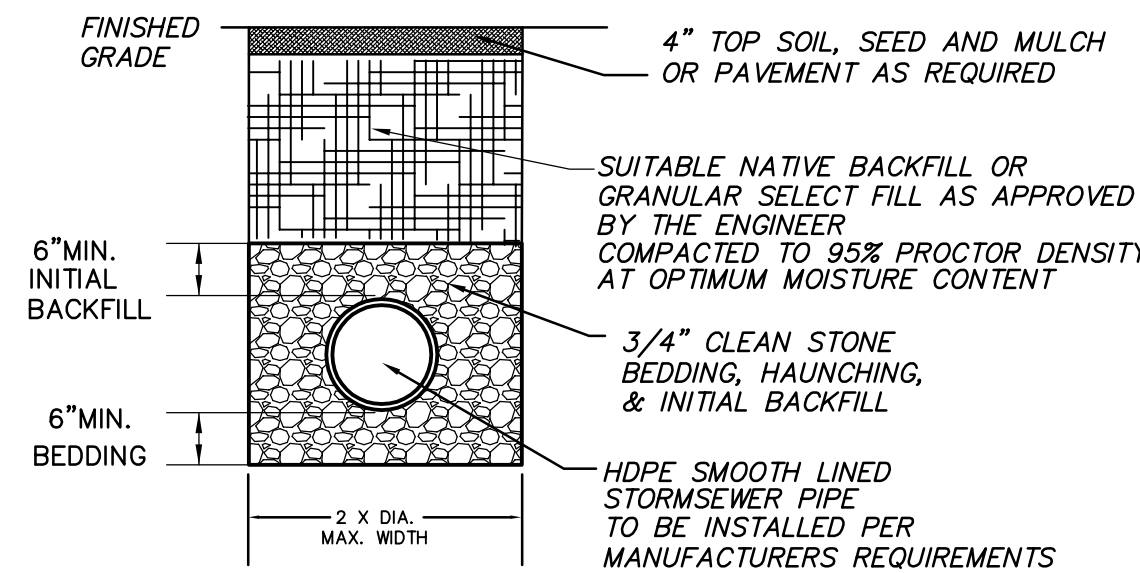


**Driveway Notes:**

- All driveways shall have a minimum width of nine (9) ft.
- All driveways shall be constructed in such a manner that the driveways will not interfere with the drainage along the existing pavement or travelled way. Runoff from a driveway shall not discharge on the travelled way.
- All driveways shall be designed to comply with the Mendham Township ordinance. Driveway designs shall be submitted to Mendham Township as part of individual Lot Grading applications at the time of construction.

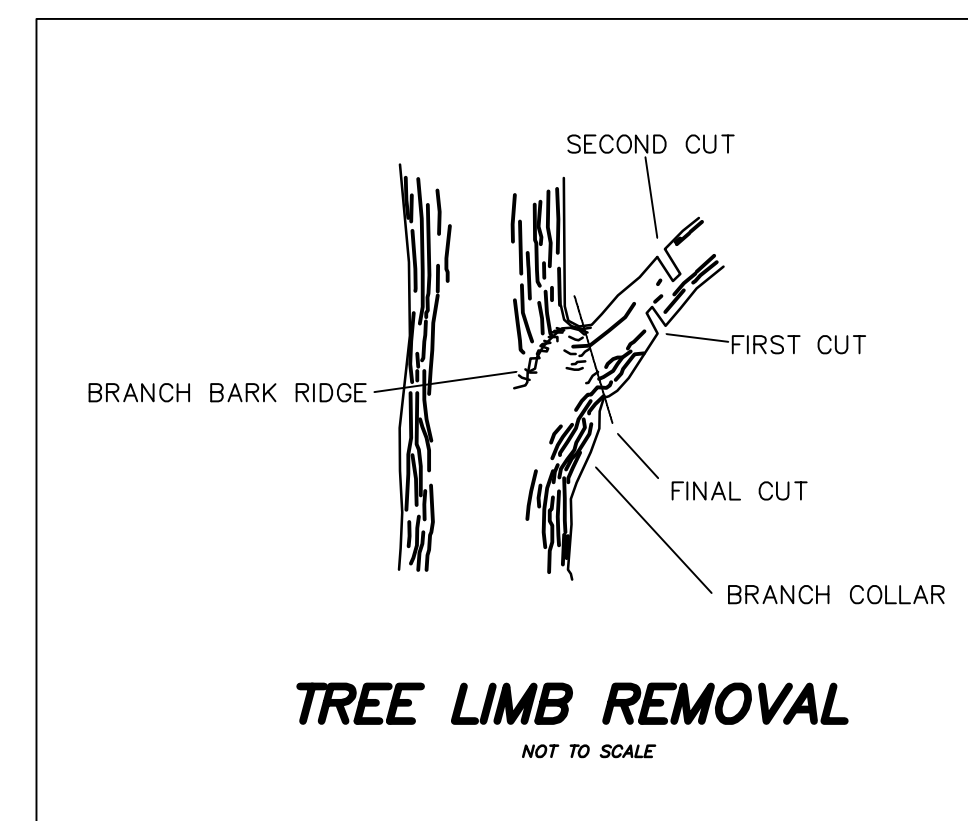


**ROOF LEADER OVERFLOW  
& CLEANOUT DETAIL**  
NOT TO SCALE

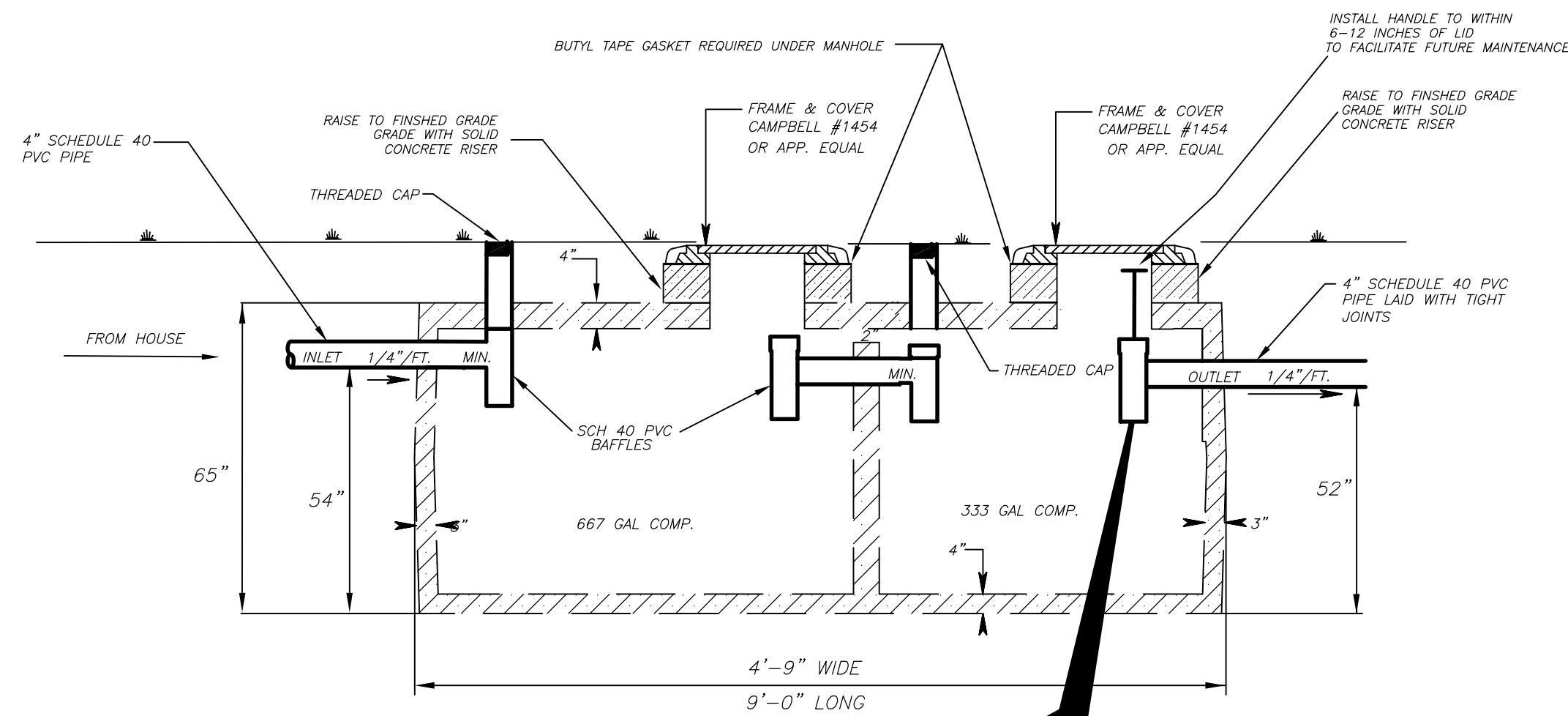


NOTE: ALL HDPE STORMSEWER PIPE SHALL HAVE SMOOTH INTERIOR LINING.

**HDPE STORMWATER PIPE TRENCH DETAIL**  
NOT TO SCALE



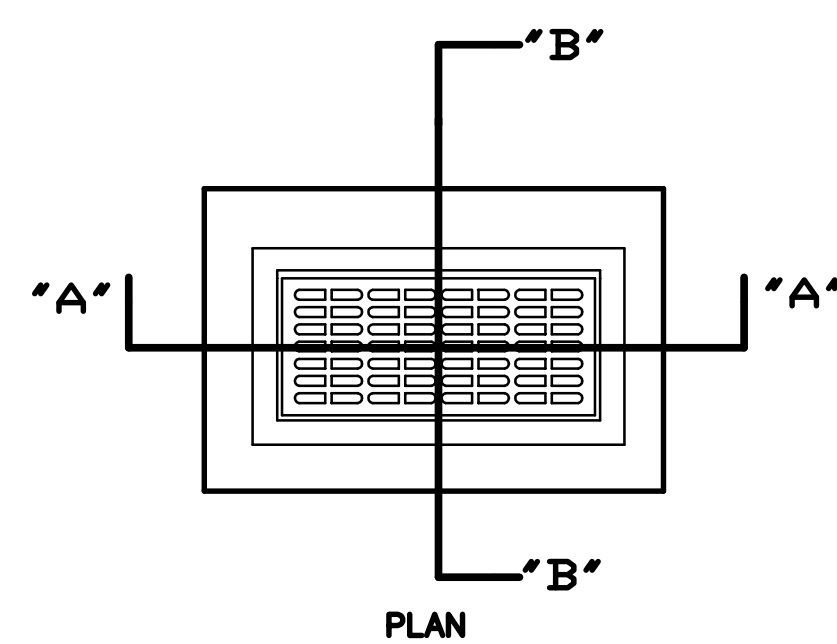
**TREE LIMB REMOVAL**  
NOT TO SCALE



**TYPICAL PROPOSED 1,000 GALLON DOUBLE  
COMPARTMENT SEPTIC TANKS**

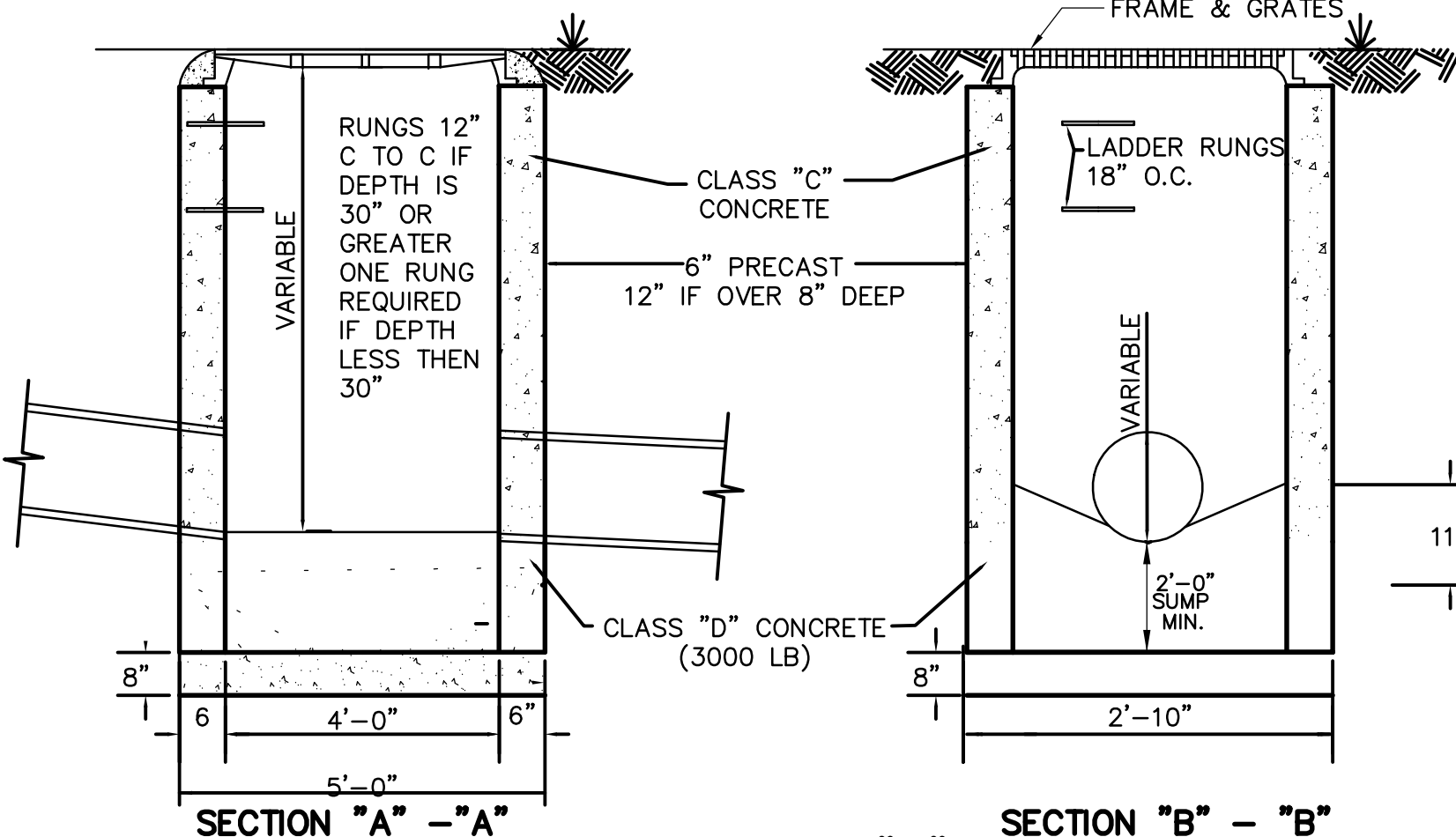
NOTE: CONTRACTOR MAY USE 6\"/>

TANKS SHOWN ARE FROM PEERLESS PRECAST CONCRETE (973.838.3060) USE THESE TANKS OR APPROVED EQUAL



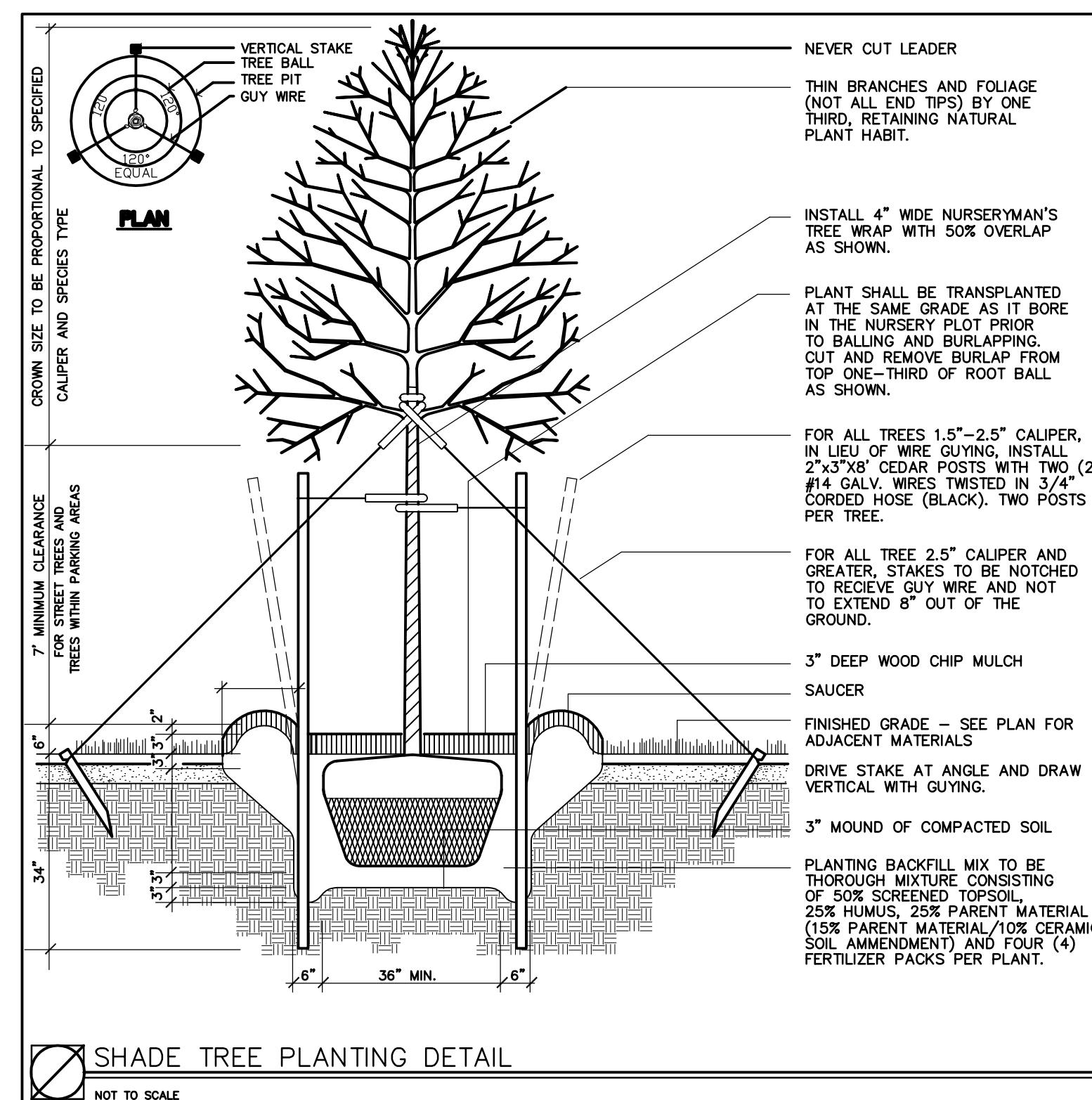
**NOTE :**

- UNIT SHALL BE CONSTRUCTED OF PRECAST CONCRETE
- CHANNELS TO BE CLASS "C" CONCRETE.
- FRAME AND GRATE TO BE No. 3405 AS MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL.
- PROVIDE 3/4" DIA. ALUMINUM LADDER RUNGS 12" O.C.
- PRECAST UNIT SHALL BE DESIGNED TO AASHTO H-20 LOADINGS.
- WALLS OVER 8 FT. DEEP SHALL BE 12" THICK.
- ALL PIPES TO BE CUT FLUSH WITH BASIN WALL.
- INVERTS ARE TO BE ELIMINATED IN BOTTOM OF TERMINAL INLET.
- BOTTOMS SHALL BE DISHED AND SLOPED TOWARD THE OUTLET.

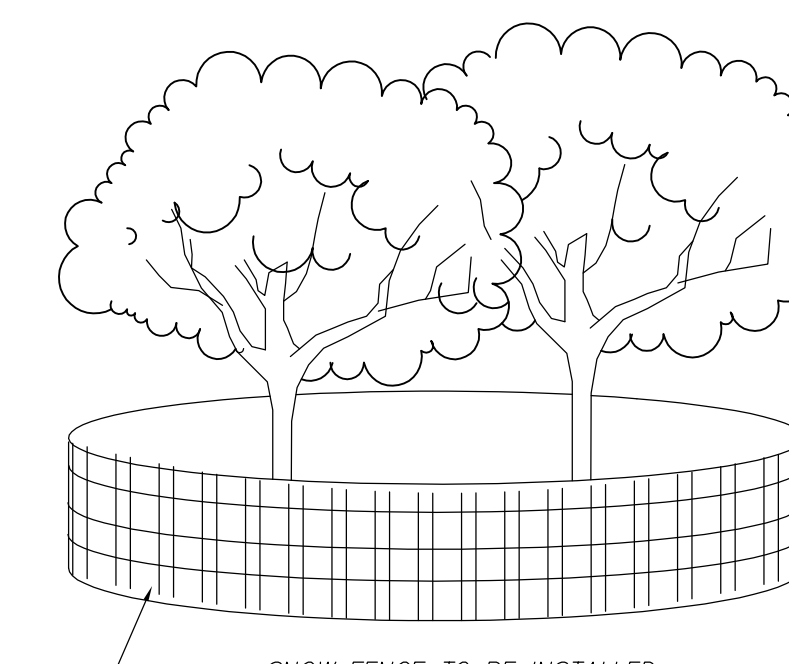
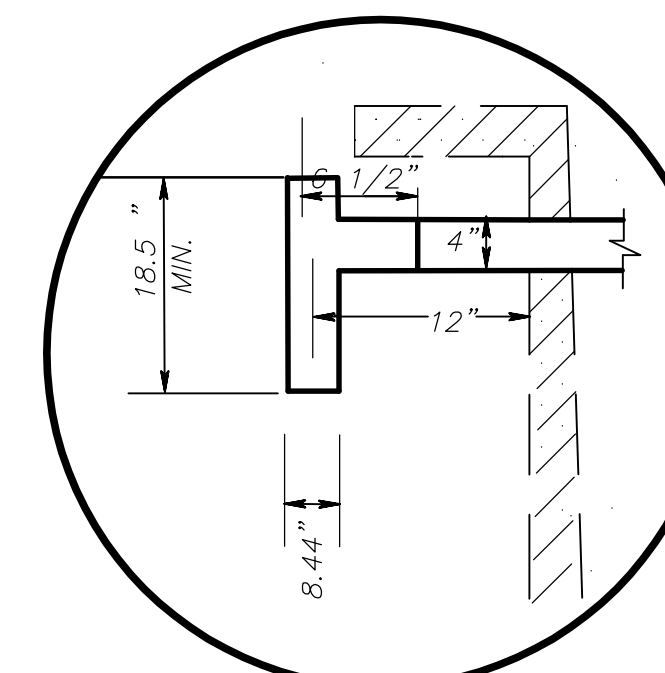


**INLET TYPE "A"**  
NOT TO SCALE

NOTE: SEE STORMWATER MANAGEMENT REPORT FOR LOT-SPECIFIC ELEVATIONS RELATED TO THE STORMWATER DESIGNS AS PRESENTED.



**SHADE TREE PLANTING DETAIL**  
NOT TO SCALE



**TREE PROTECTION DETAIL**  
NOT TO SCALE



460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 24627934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24624527000 DATE 11/16/22

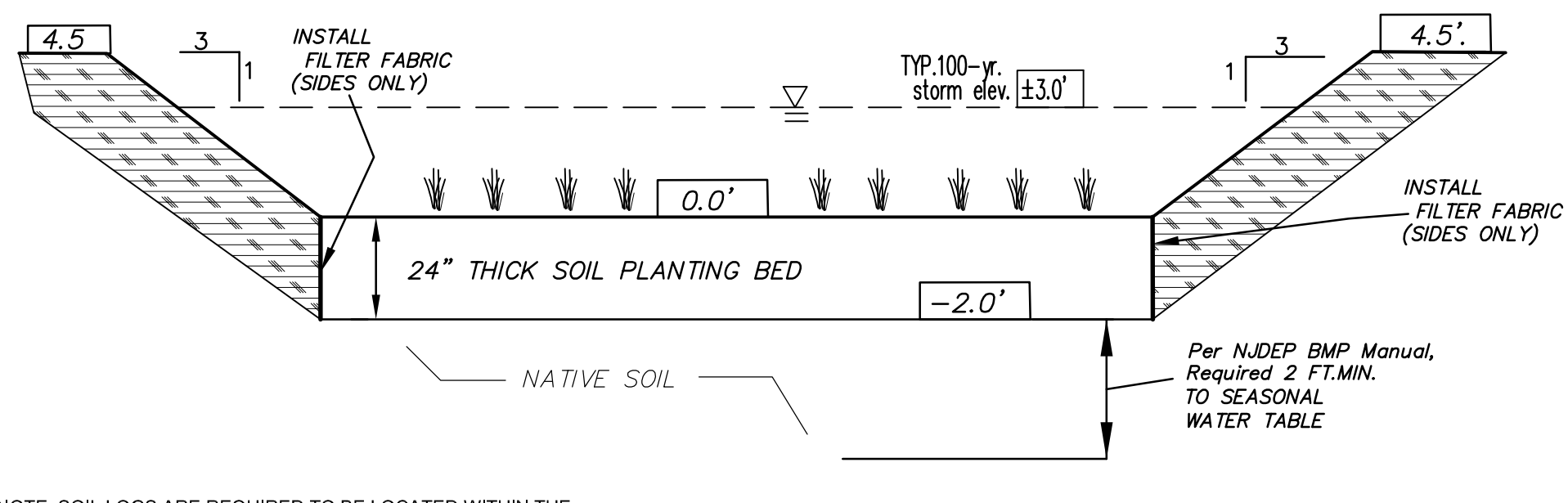
NO.	DATE	REVISION
2	11/16/22	PER PLAN.BD.MTG.10/19/22
1	10/04/22	REISSUE

PROJECT TITLE:  
**LAWRENCE FARM ESTATES**  
**MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 &  
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM  
MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE  
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:	
<b>CONSTRUCTION DETAIL SHEET</b>	
DRAWN BY: CJD	DATE: SEPTEMBER 2, 2022
CHECKED BY: CJD	SCALE: AS SHOWN
W.O. 222040	
F.B. ----	
FILE:	
COMP FILE: M:SEPTIC/.../222040/PLANNINGBOARD/ PB-details-rev2.dwg	
SHEET <b>13</b> OF <b>15</b>	



**NJDEP BMP 9.7 : Typical SMALL-SCALE BIORETENTION SYSTEM**

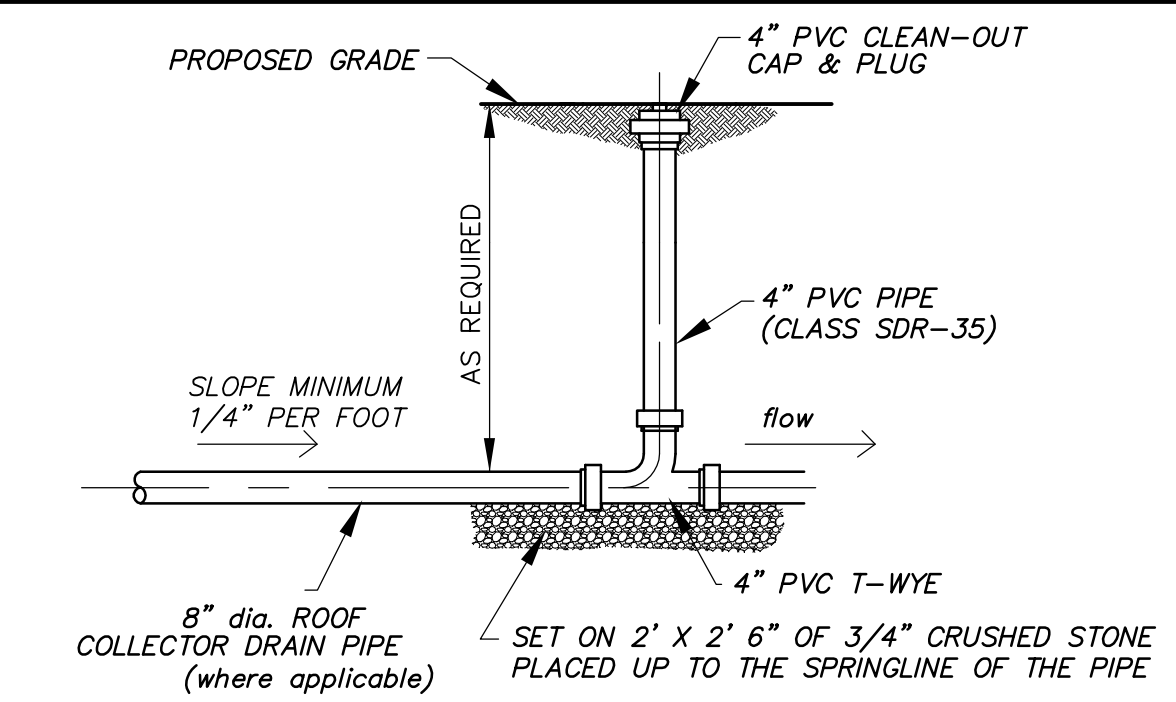


**CROSS-SECTION**  
NOT TO SCALE

NOTE: SOIL LOGS ARE REQUIRED TO BE LOCATED WITHIN THE FOOTPRINT OF THE TYPICAL STORMWATER MEASURE.

**BMP NOTES:**

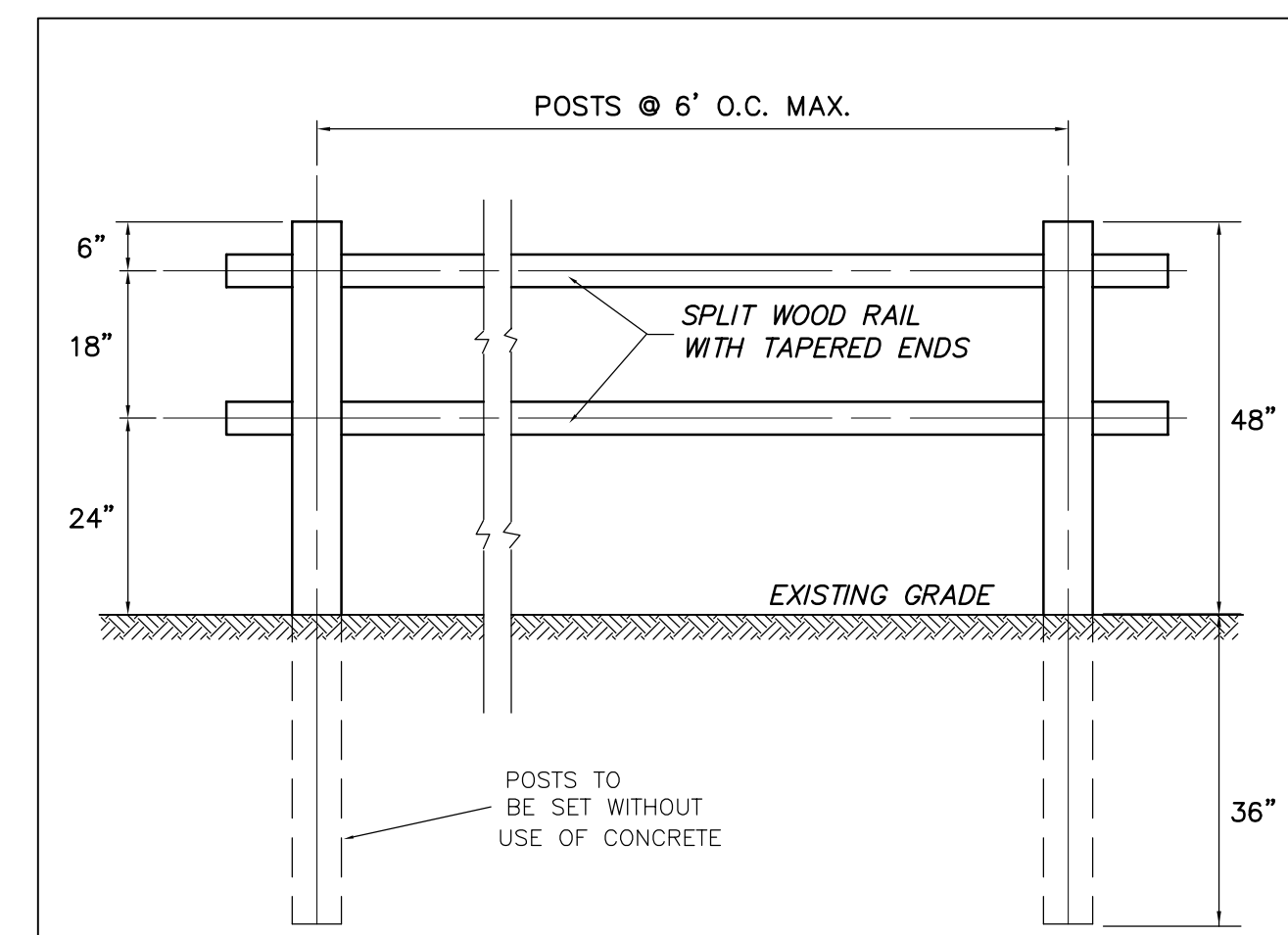
1. PLANTING SOIL BED MUST CONSIST OF THE FOLLOWING MIX, BY WEIGHT: 85-95% SANDS WITH NO MORE THAN 25% OF THE SANDS AS FINE OR VERY FINE SANDS; NO MORE THAN 15% SILT AND CLAY WITH 2% TO 5% CLAY CONTENT. THE ENTIRE MIX SHALL THEN BE AMENDED WITH 3 TO 7% ORGANICS, BY WEIGHT. THE MIX MUST BE CERTIFIED BY EITHER THE VENDOR WHO PREMIXES THE SOIL OR BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW JERSEY PRESENT DURING ANY ONSITE SOIL MATERIAL MIXING. THE MATERIAL'S pH SHOULD RANGE FROM 5.5 TO 6.5. THE MATERIAL SHALL BE PLACED IN 12 TO 18" LIFTS. ADDITIONAL MATERIAL MAY BE NECESSARY TO ACCOUNT FOR THE SUBSEQUENT SETTLING OF THE MATERIAL OVER TIME.
2. BASIN CONSTRUCTION MUST NOT COMPACT SOILS BELOW BASIN BOTTOM.
3. SITE-TOLERANT GRASSES (ERNMX-80 MIX OR APPROVED EQUAL) TO BE UTILIZED IN THE BOTTOM OF THE BIORETENTION BASIN.
4. ADDITIONAL DESIGN CRITERIA AS REQUIRED BY THE NJ STORMWATER BEST MANAGEMENT PRACTICES MANUAL.
5. SEE STORMWATER MANAGEMENT REPORT FOR LOT-SPECIFIC ELEVATIONS.



**TYPICAL DRAINAGE PIPE CLEANOUT DETAIL**  
NOT TO SCALE

**Individual Lot Development Notes:**

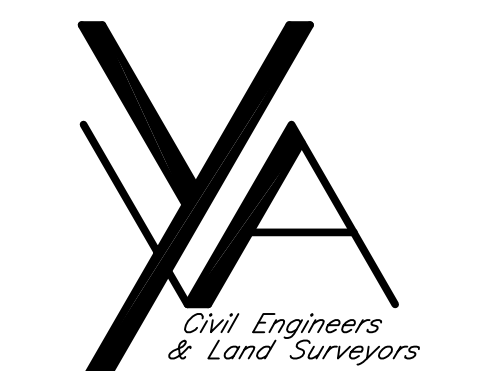
1. Any development of the individual proposed lots will be required to provide its own stormwater management design, as a 'Major Stormwater Development', which will be the responsibility of the individual homeowners, regardless of the individual lot development size.
2. Prior to the start of any lot development construction at the proposed lots, individual homeowners shall submit a 'Stormwater Management Operations & Maintenance' manual for review and approval by Mendham Township. The deed notice for the approved 'Stormwater Management Operations & Maintenance' manual must be filed prior to a Certificate of Occupancy.



**TYPICAL POST AND RAIL FENCE DETAIL**  
(SPLIT RAIL FENCE Surrounding Basin or Approved equal)  
NOT TO SCALE

**NOTES:**

- 1) POST AND RAILS TO BE UNTREATED CEDAR OR PRESSURE TREATED PINE OR EQUIVALENT.
- 2) BACKFILL TO BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO 95% OPTIMUM DENSITY.

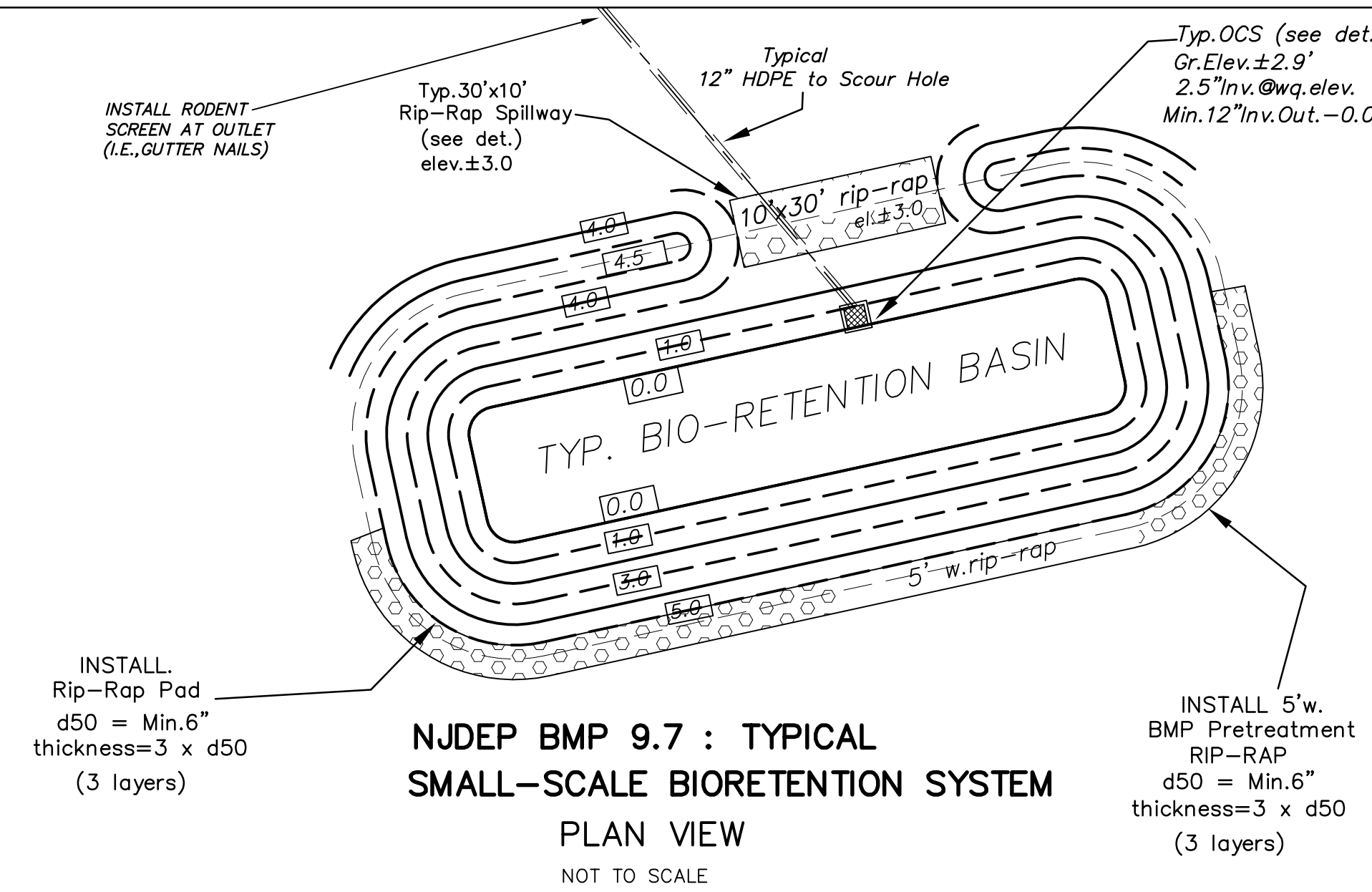


**YANNACCONI  
VILLA  
& ALDRICH, LLC**

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 24627934500

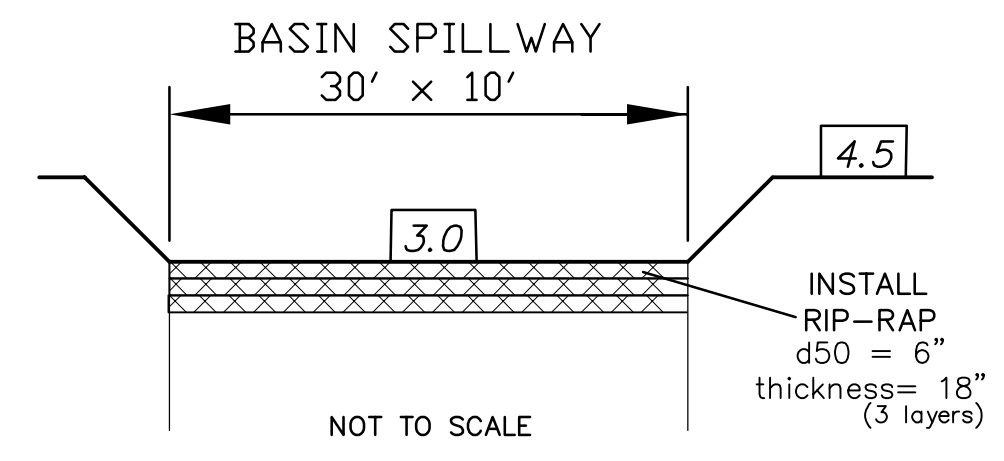
*Candice J. Davis*  
**CANDICE J. DAVIS**

N.J. PROFESSIONAL ENGINEER  
NO. 246204527000 DATE 11/16/22



**NJDEP BMP 9.7 : TYPICAL  
SMALL-SCALE BIORETENTION SYSTEM**  
PLAN VIEW  
NOT TO SCALE

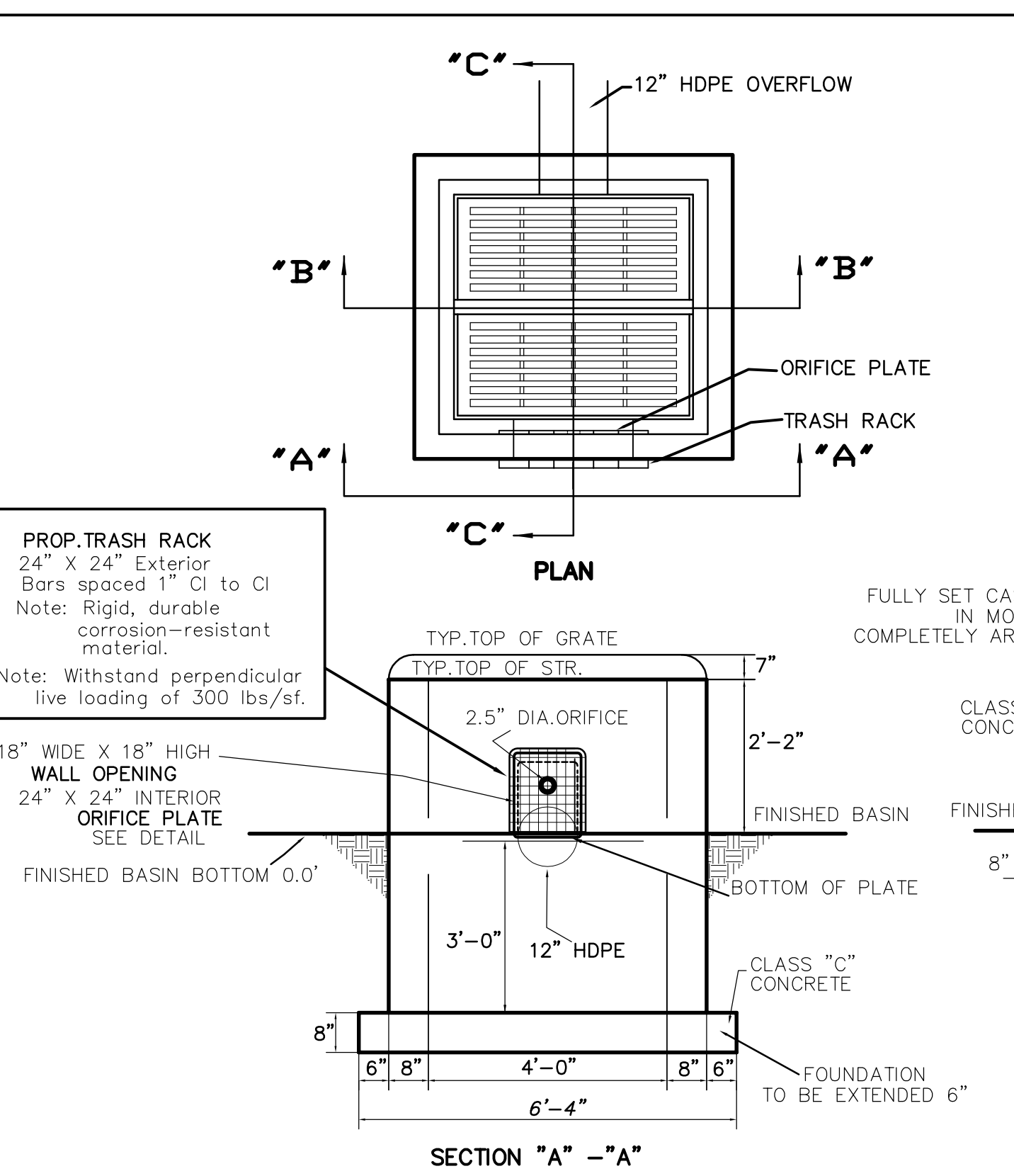
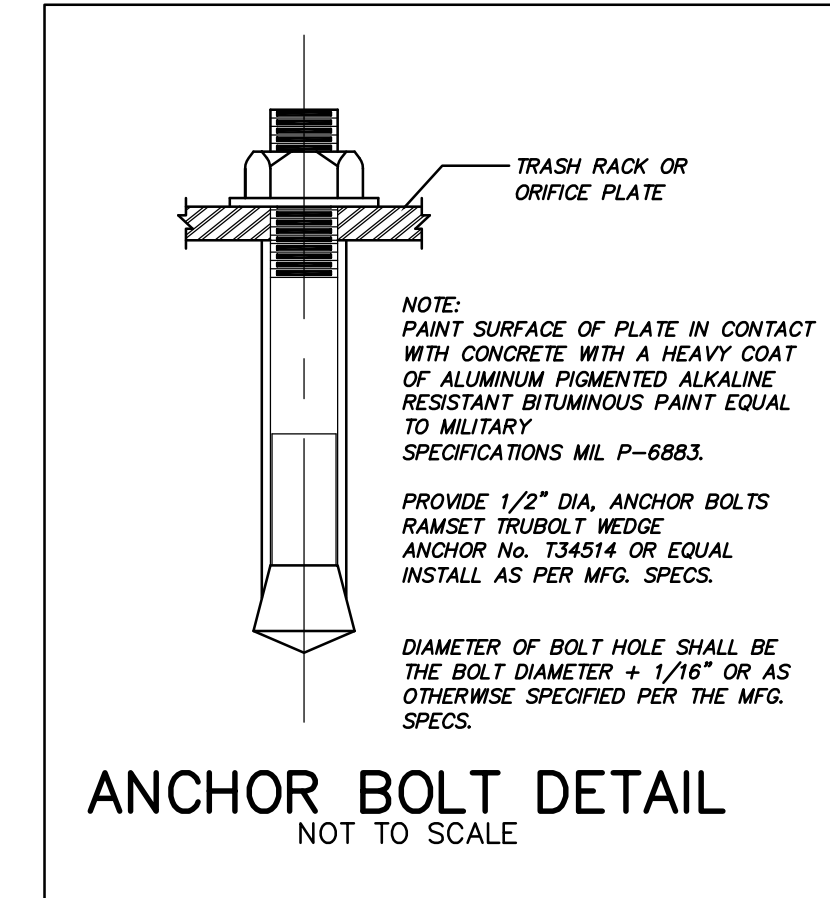
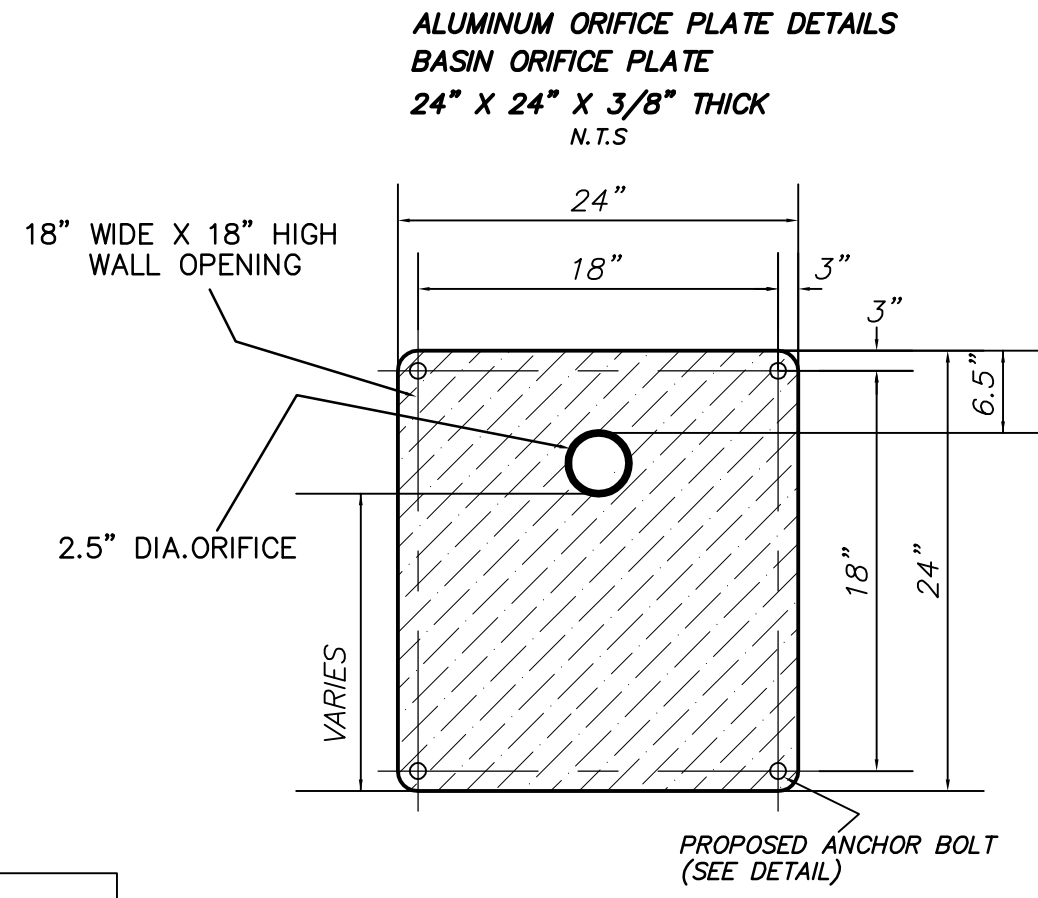
**TYPICAL BASIN SPILLWAY  
CROSS-SECTION**



**TYPICAL BASIN SPILLWAY  
CROSS-SECTION**  
NOT TO SCALE

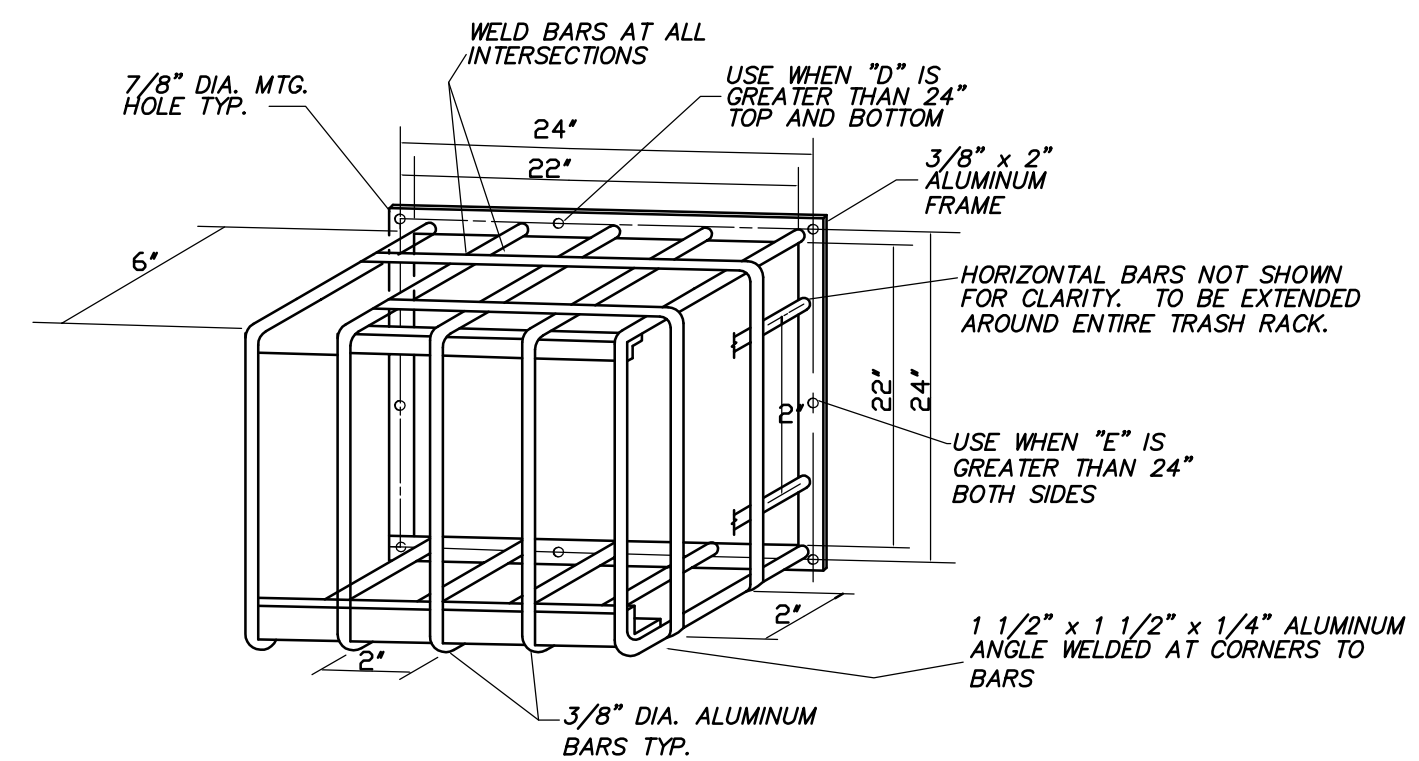
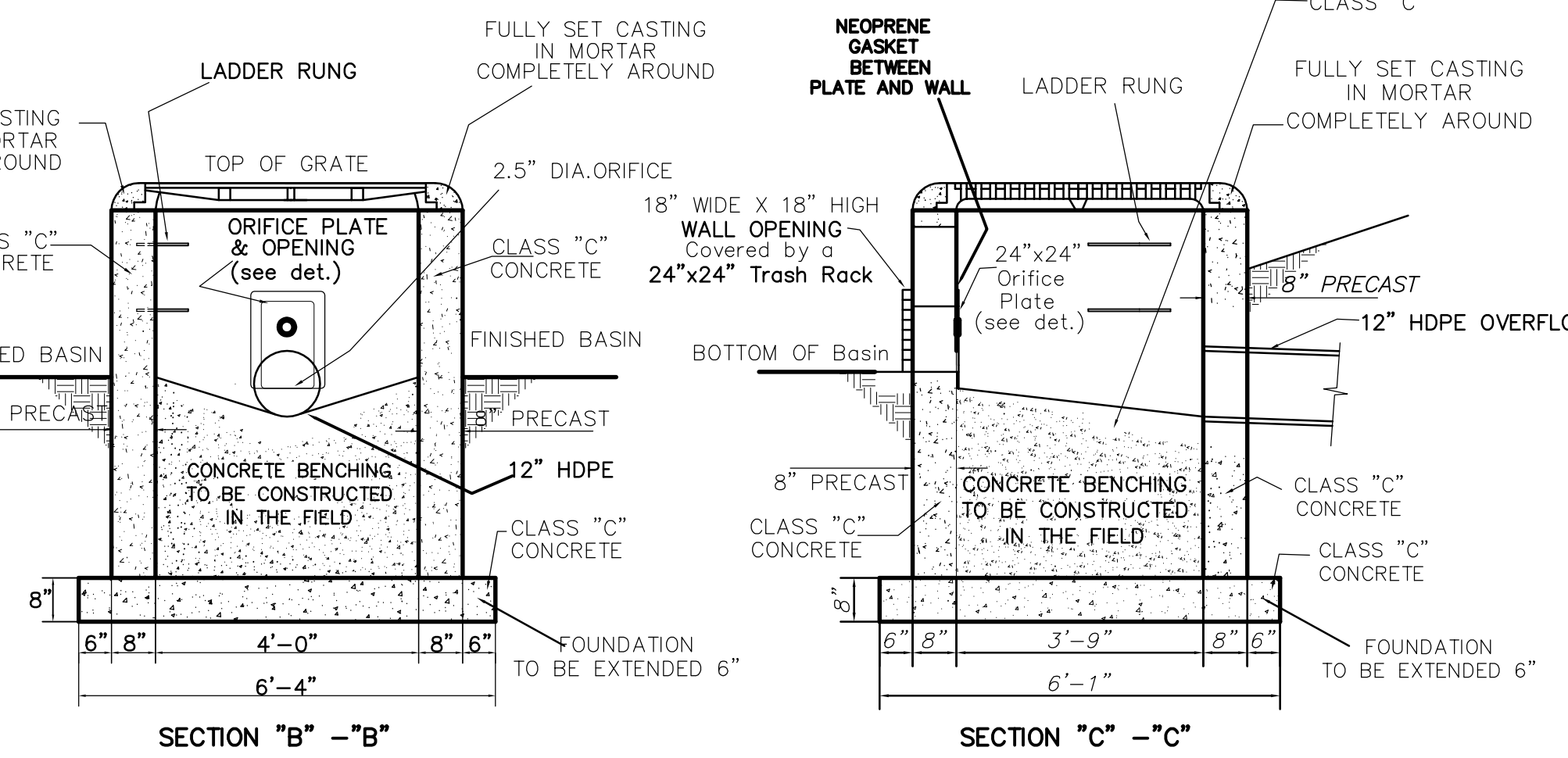
NOTE: SEE STORMWATER MANAGEMENT REPORT FOR LOT-SPECIFIC ELEVATIONS RELATED TO THE BIORETENTION BASIN DESIGNS AS PRESENTED.  
NOTE: DETAILED STORMWATER DESIGN & ENGINEERING CALCULATIONS RELATED TO INDIVIDUAL LOT DEVELOPMENTS SHALL BE SUBMITTED TO MENDHAM TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY CONSTRUCTION.

**TYP. ORIFICE PLATE DIMENSIONS**



- NOTES :**
1. UNIT SHALL BE CONSTRUCTED OF PRECAST CONCRETE
  2. CHANNELS TO BE CLASS "C" CONCRETE.
  3. FRAME AND GRATE TO BE NO. 3425 AS MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL.
  4. PROVIDE 3/4" DIA. ALUMINUM LADDER RUNGS 12" O.C.
  5. PRECAST UNIT SHALL BE DESIGNED TO AASHTO H-20 LOADINGS.
  6. WALLS OVER 8 FT. DEEP SHALL BE 12" THICK.
  7. ALL PIPES TO BE CUT FLUSH WITH BASIN WALL.
  8. INVERTS ARE TO BE ELIMINATED IN BOTTOM OF TERMINAL INLET.
  9. BOTTOMS SHALL BE DISHED AND SLOPED TOWARD THE OUTLET.
  10. GRATE PROVIDED AS SECONDARY TRASH RACK. GRATE SHALL PROVIDE PERPENDICULAR LIVE LOADING OF 300 LB/SF.
- ALL ALUMINUM SURFACES MOUNTED DIRECTLY TO CONCRETE MUST BE PAINTED WITH A HEAVY COAT OF ALUMINUM PIGMENTED ALKALINE RESISTANT BITUMINOUS PAINT EQUAL TO MILITARY SPECIFICATION "MIL-P-6883".

**TYPICAL  
BIORETENTION BASIN  
OUTLET CONTROL STRUCTURE**



**TYPICAL ORIFICE TRASH RACK**  
NOT TO SCALE

- NOTE :**
1. TRASH RACK SHALL BE DESIGNED TO HANDLE A PERPENDICULAR LIVE LOAD OF 300 LBS/FT.SQ.
  2. ALL ALUMINUM SURFACES MOUNTED DIRECTLY TO CONCRETE MUST BE PAINTED WITH A HEAVY COAT OF ALUMINUM PIGMENTED ALKALINE RESISTANT BITUMINOUS PAINT EQUAL TO MILITARY SPECIFICATION "MIL-P-6883".
  3. ALL TRASH RACKS AND FASTENERS MUST HAVE SUFFICIENT STRENGTH TO WITHSTAND ANTICIPATED LOADINGS.

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL	
2	11/16/22 PER PLAN.BD.+COUNTY PLAN.REV.
1	10/04/22 REISSUE
NO.	DATE REVISION

PROJECT TITLE :  
**LAWRENCE  
FARM ESTATES  
MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 &  
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM  
MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE  
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE :  
**TYPICAL  
STORMWATER  
MANAGEMENT  
DETAIL SHEET**

DRAWN BY: CJD DATE: SEPTEMBER 2, 2022

CHECKED BY: GVC/D SCALE: AS SHOWN

W.O. 222040 F.B. ----

FILE: COMP FILE: M:SEPTIC/.../222040/PLANNINGBOARD/PB-details-rev2.dwg

\* SEE STORMWATER MANAGEMENT REPORT FOR LOT-SPECIFIC ELEVATIONS.