PROPERTY OWNERS WITHIN 200' OF THE SUBJECT PROPERTIES

TOWNSHIP OF MENDHAM, BLOCK 147, LOT 42.01, 42.02, 42.04, 42.05, 42.06, 42.07, 42.08, LOT 42.09, 42.10, 42.11, 42.12, 42.13, 42.16 BASED ON CERTIFIED LIST PROVIDED BY THE TAX ASSESSOR OF THE TOWNSHIP OF MENDHAM, DATED AUGUST 24, 2022

BLOCK	LOT	LOT ADDRESS	OWNER AND ADDRESS
46	19	41 COREY LN	ZAMMATARO, FRANK & JEANNIE, 41 COREY IN MENDHAM, NJ 07945
46	20	45 COREY LN	WEST, KENNETH W & KRISTINE, 45 COREY LN MENOHAM NJ 07945
47	2	52 HARDCRABBLE RD	MOREEN, JOSHUA D, 52 HARDSCRABBLE RD MENDHAM TWP, NJ 07945
<i>47</i>	3	52 COREY LN	SAUNDERS, GREGORY B SECOND/LIZA, 52 COREY IN MENDHAM, NJ 07945
<i>47</i>	4	50 COREY LN	HERMS, PETER S, 48 COREY LN MENDHAM, NJ 07945
47	5	48 COREY LN	HERMS, PETER S, 48 COREY IN MENOHAM NJ 07945
47	6	46 COREY IN	CHRISTIE, CHRISTOPHER J/MARY PAT, 46 COREY IN MENDHAM, NJ 07945
<i>47</i>	8	42 COREY LN	LONGO, ROBERT J & MARTA K., 42 COREY LN. MENDHAM, NJ 07945
<i>47</i>	9	40 COREY LN	VAN ETTEN, GLENN & KRISTIN, 40 COREY LN. MENDHAM, NJ 07945
<i>17</i>	10	38 COREY LN	CLEAR, ROBERT A & HELEN, 38 COREY IN MENDHAM NJ 07945
<i>17</i>	11	36 COREY LN	BYRNES, GERARD & PATRICIA, 36 COREY LN. MENDHAM, NJ 07945
<i>47</i>	15	67 TEMPE WICK RD	RIBACK, MITCHELL/DICKISON, KENNETH, 67 TEMPE WICK RD MENDHAM, NJ 07945
<i>47</i>	16	TEMPE WICK RD	MENDHAM TOWNSHIP, 2W MAIN ST, PO BOX 520 BROOKSIDE, NJ 07926
<i>17</i>	<i>25</i>	S COBBLEFIELD DR	ACKERMAN, LAURA, 5 COBBLEFIELD DR MENDHAM, NJ 07945
<i>47</i>	<i>30</i>	15 COBBIEFIEID DR	PLIUTSINSKI, SERGEI/NATALIA, 15 COBBLEFIELD DR MENDHAM, NJ 07945
<i>17</i>	31	16 COBBLEFIELD DR	DAVID PULVER 2020 TRUST, 2711 RHONE DR PALM BEACH GARDENS, FL 33410
<i>17</i>	<i>33</i>	3 MANOR HILL DR	ELAVIA, KURUS, 3 MANOR HILL DR MENDHAM, NJ 07945
<i>‡7</i>	<i>34</i>	4 MANOR HILL DR	MONAHAN, BRIAN W/SALLY I, 4 MANOR HILL DR MENDHAM, NJ 07945
<i>17</i>	<i>38</i>	73 BEVERLY DR	GREER, EDWARD/JEANNETE G, 73 BEVERLY DR BERNARDSVILLE, NJ 07924
<i>17</i>	<i>39</i>	75 BEVERLY DR	LEMBO, JASON R, C/O FREDCO, 315 HOME AVE., PASSAIC, NJ, 07055
<i>17</i>	40	74 BEVERLY DR	SNOOK, RANDOLPH C & DEANN M, 74 BEVERLY DR., BERNARDSVILLE, NJ 07924
<i>17</i>	41	70 BEVERLY DR	MASTRANGELO, DENNIS/LYNN, 70 BEVERLY DR BERNARDSVILLE, NJ 07924
<i>17</i>	42.01	1 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924
17	42.02	54 HARDSCRABBLE RD	LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924
47	42.03	6 BLANK DR	SIDIROPOULOS, CHARALAMBOSI JENNIFER, 71 BEVERLY DR BERNARDSVILLE, NJ 07

6 EXMOOR DR 4 EXMOOR DR LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924 2 EXMOOR DR LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924 4 SUTTON PL EST LLC/MOHIN ABEDIN, 99 HUDSON ST. APT. 3006 JERSEY CITY, NJ 07302 3 SUTTON PL

P.O. BOX 490

CRANFORD. NJ 07016

CEDAR KNOLLS, NJ 07927

BLOCK LOT LOT ADDRESS

19 SADDLE ROAD

42.04 3 EXMOOR DR

5 EXMOOR DR

7 EXMOOR DR

18 EXMOOR DR

PADAVANO, KURT, 80 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924 76 SOUTH MAIN STREET AKRON. OH 44308 SOUTHEAST MORRIS CTY MUA

214A CENTER GROVE ROAD

ONE COMCAST CTR. PHILADELPHIA, PA 19103

10 EXMOOR DR, 10 EXMOOR DR MENDHAM, NJ 07945

LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924

LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924

LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924

LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924 LAWRENCE FARMLAND L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924 LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924

LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924

LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924

LAWRENCE FARMLAND, L.L.C., 54 HARDSCRABBLE RD BERNARDSVILLE, NJ 07924 SIDIROPOULOS, CHARALAMBOS/JENNIFER, 71 BEVERLY DR BERNARDSVILLE, NJ 07924

PADAVANO, KURT/JO ELLEN, 80 HARDSCRABBLE BERNARDSVILLE, NJ 07924

P.O. BOX 4830

TRENTON, NJ 08650-4830

BOROUGH OF BERNARDSVILLE, BLOCK 8, LOT 2

BASED ON CERTIFIED LIST PROVIDED BY THE TAX ASSESSOR OF THE BOROUGH OF BERNARDSVILLE, DATED AUGUST 11, 2022

OWNER AND ADDRESS

8	1	361 HARDSCRABBLE F	RD. KEEBLER, HARRY W.JR	& TRUDI M., 361 HARDSCRABBLE RD. BERNARDSVILLE, NJ 07924
8	3.01	351 HARDSCRABBLE F	RD. YORK, LINDA M., 351 I	HARDSCRABBLE ROAD BERNARDSVILLE, NJ 07924
8	3.02	26 BEVERLY DR.	PARSELLS, GEORGE H.,	26 BEVERLY DR. BERNARDSVILLE, NJ 07924
8	3.03	52 BEVERLY DR.	CIPRIANO, MELISSA, 17	'5 FAIRFIELD AVE, SUITES-4C/D WEST CALDWELL, NJ 07006
8	3.04	70 BEVERLY DR.	MASTRANGELO, DENNIS	& LYNN, 70 BEVERLY DR. BERNARDSVILLE, NJ 07924
PUBLIO		ELECTRIC AND GAS IE	NEW JERSEY AMERICAN WATER COMPANY 167 JFK PARKWAY SHORT HILLS, NJ 07078	
	ZON MT. PLEASA GSTON, NJ (COMCAST 100 RANDOLPH ROAD SOMERSET, NJ 08873	ZAYO 2561 BERNVILLE ROAD READING, PA 19605
166 I	UGH OF BEI MINE BROOK ARDSVILLE,			

BLOCK	LOT	LOT ADDRESS	OWNER AND ADDRESS						
2401	15	125 HARDSCRABBLE RD	PETRUCCI, JAMES J & PATRICIA	, 125 HARDSCRABBLE ROAD, MENDHAM, NJ 07945					
2401	16	111 HARDSCRABBLE RD	DAVINO, ANTHONY, PO BOX 300	MENDHAM, NJ 07945					
2401	17	77 HARDSCRABBLE RD	IARDSCRABBLE RD KUTLU, HAKAN M & KIMBERLY A, 77 HARDSCRABBLE RD MENDHAM, NJ 07945						
2401	18	51 HARDSCRABBLE RD	DUBIN, WAYNE S/LYNN A, 51 H.	ARDSCRABBLE RD MENDHAM, NJ 07945					
2401	19	49 HARDSCRABBLE RD	PRACHT, MARKUS J, 49 HARDSO	CRABBLE RD MENDHAM, NJ 07945					
2401	31	2 OAK FOREST LN	VEGA, TERESA MARY/MC TIGHE,	ROBERT, 2 OAK FOREST LN MENDHAM, NJ 07945					
2401	31.06	99 HARDSCRABBLE RD	IRENE, SANDY/ANNE/LAWRENCE,	/ROBERT, 99 HARDSCRABBLE RD MENDHAM, NJ 079					
P.O. BOX	1911	TRV. TAX DEPT 07962—1911	VERIZON, c/o DUFF & PHELPS P.O. BOX 2749 ADDISON, TX 75001	AT&T 900 ROUTE 202/206 NORTH BEDMINSTER, NJ 07921					
80 PARK		LECTRIC & GAS Co. 2	MORRIS COUNTY PLANNING BOARD PO BOX 900 MORRISTOWN, NJ 07963-0900	AMERICAN WATER SSC/GENERAL TAX DEPT P.O. BOX 5627 CHERRY HILL, NJ 08034					
MENDHAM BOROUGH SEWER UTILITY 35 IRONIA ROAD MENDHAM. NJ 07945			COMCAST 300 RAHWAY AVE. UNION, NJ 07830	CABLEVISION, ATTN: KATHY BAKER 683 ROUTE 10 RANDOLPH, NJ 07869					

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF MENDHAM ON

THE TUWNSHIP OF MENUHAM	<i>UN</i>
	DATE
PLANNING BOARD CHAIRMAN	DATE
PLANNING BOARD SECRETARY	DATE
TOWNSHIP ENGINEER	DATE

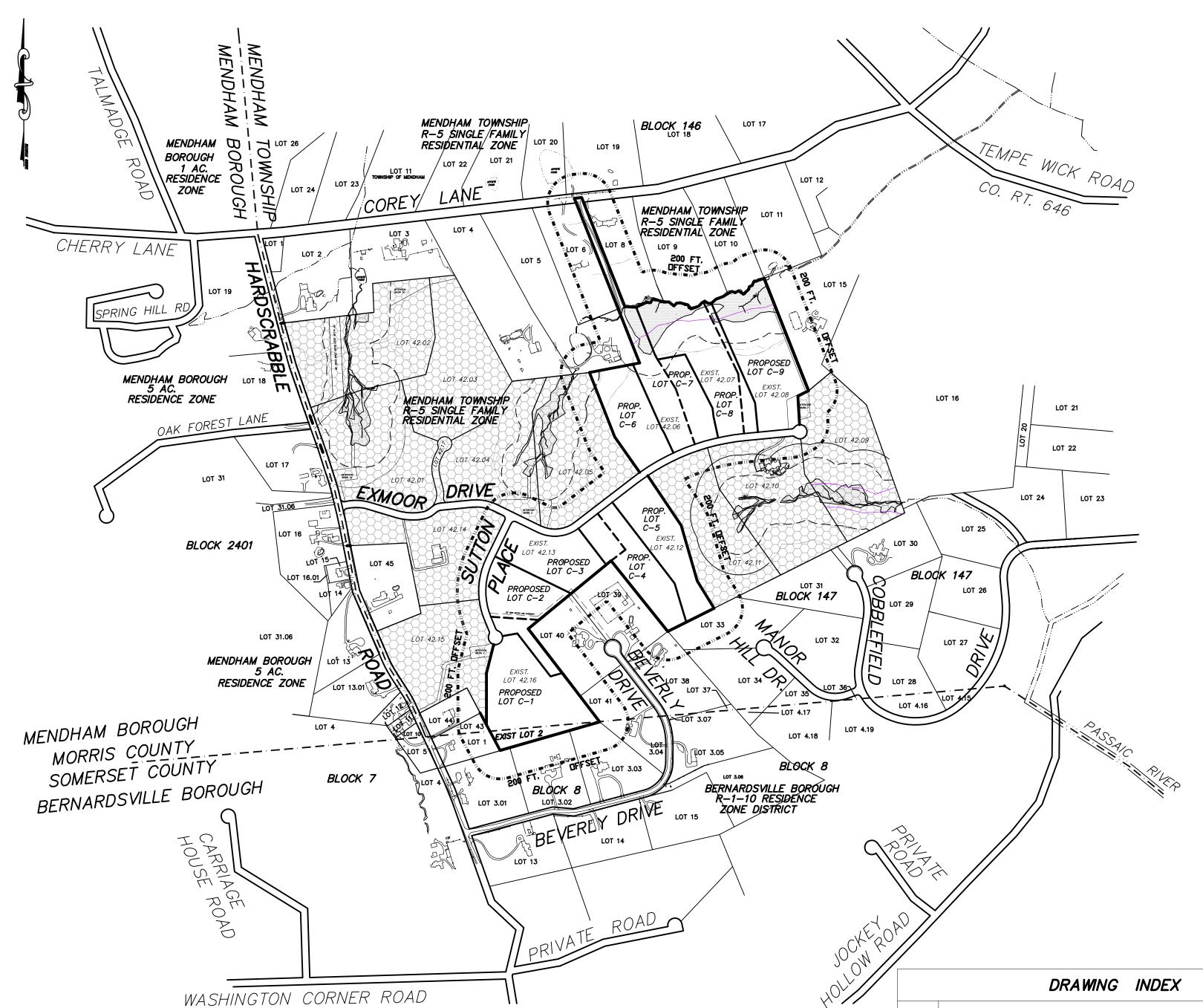
"LAWRENCE FARM ESTATES" PRELIMINARY & FINAL MAJOR SUBDIVISION EXMOOR DRIVE & SUTTON PLACE

LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147

TOWNSHIP OF MENDHAM, MORRIS COUNTY, NJ

LOT 2 ~ BLOCK 8

BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NJ



KEY MAP

GRAPHIC SCALE

(IN FEET)

1 inch = 500 ft.



YANNACCONE VILLA & ALDRICH, LLC

460 MAIN STREET, P.O. BOX 459 CHESTER, NEW JERSEY 07930 PHONE: 908-879-6646 FAX: 908-879-8591

N.J. STATE BOARD OF P.E. & L.S. CERTIFICATION OF AUTHORIZATION No. 24GA27934500

CANDICE J. DAVIS

N.J. PROFESSIONAL ENGINEER

NO 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

CHESTER, NJ 07930 2 11/16/22 PER PLN.BD.MTG.10/19/22 1 10/04/22 PER PLN.BD.COMPLETE.& NJDEI

ENVIRONMENTAL CONSULTANT DAVID C. KRUEGER

ENVIRONMENTAL TECHNOLOGY, INC 460 MAIN STREET P.O. BOX 50 CHESTER, NJ 07930 908-879-8509

APPLICANT/OWNER

LAWRENCE FARMLAND. LLC

BERNARDSVILLE, NJ 07924

THOMAS J. MALMAN, ESQ.

PARSIPPANY, NJ, 07054

CIVIL ENGINEER & SURVEYOR

54 HARDSCRABBLE ROAD

908-246-0283

ATTORNEY

C/O DAY PITNEY

973-966-8179

1 JEFFERSON ROAD

CANDICE DAVIS, P.E.

460 MAIN STREET P.O. BOX 459

908-879-6646

14 TYPICAL SOIL EROSION & SEDIMENT CONTROL DETAIL SHEET

15 TYPICAL STORMWATER MANAGEMENT DETAIL SHEET

11 EXISTING LANDSCAPING INVENTORY PLAN — Proposed Lots C-6, C-7, C-8, C-9

12 SOIL LOG DATA SHEET

13 TYPICAL CONSTRUCTION DETAIL SHEET

CHRISTOPHER J. ALDRICH, P.L.S. YANNACCONE, VILLA, & ALDRICH, LLC

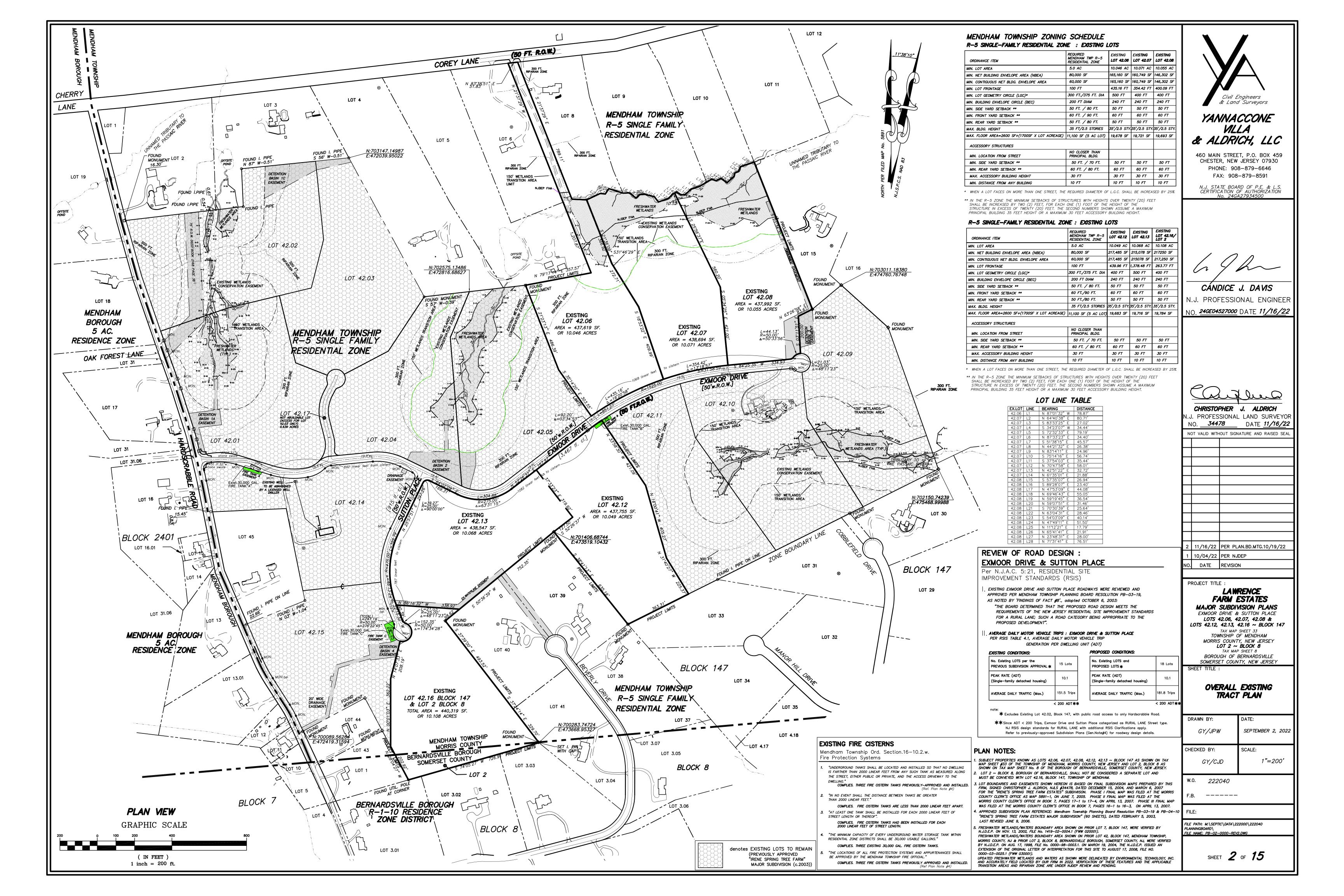
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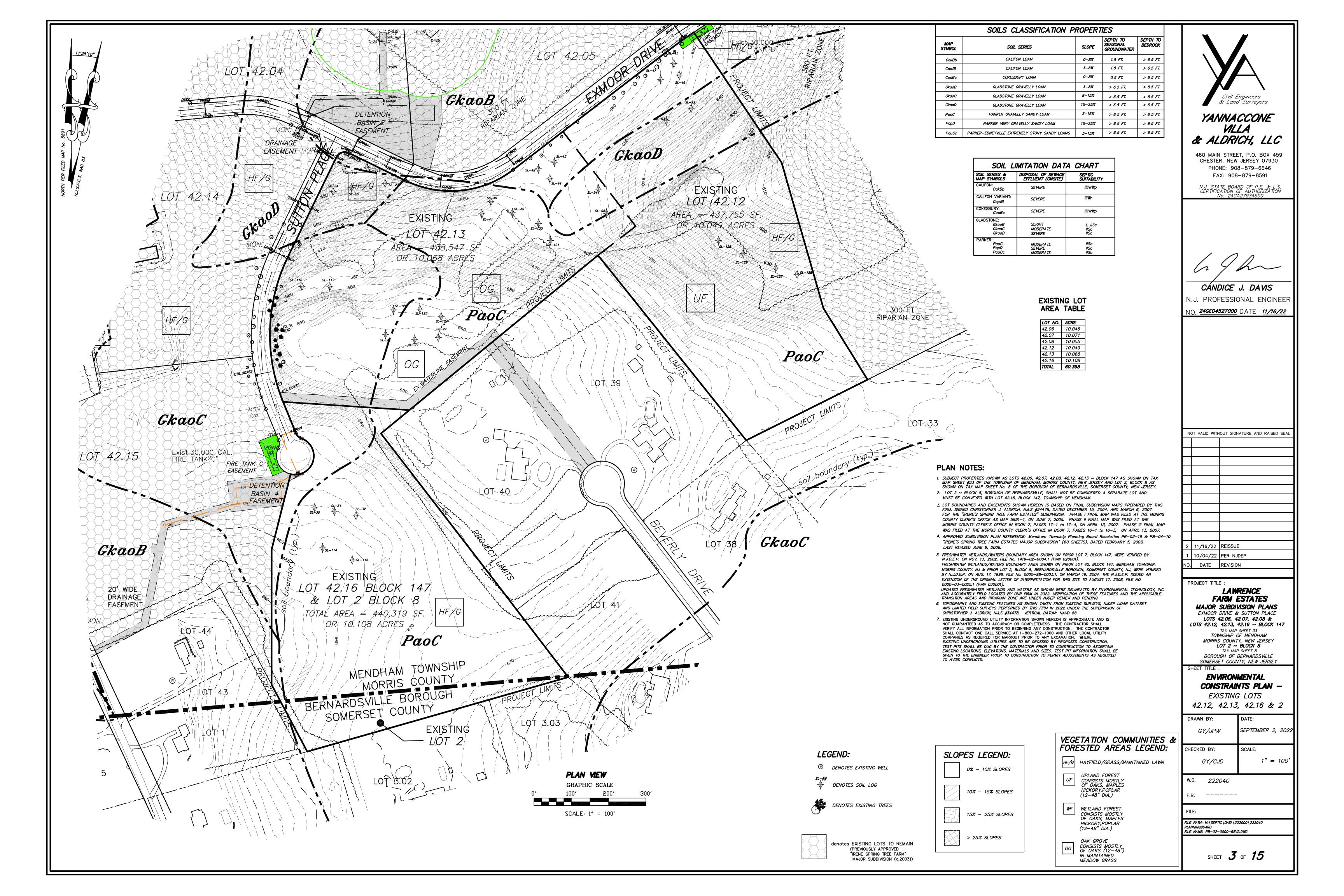
SOMERSET COUNTY. NEW JERSEY SHEET TITLE :

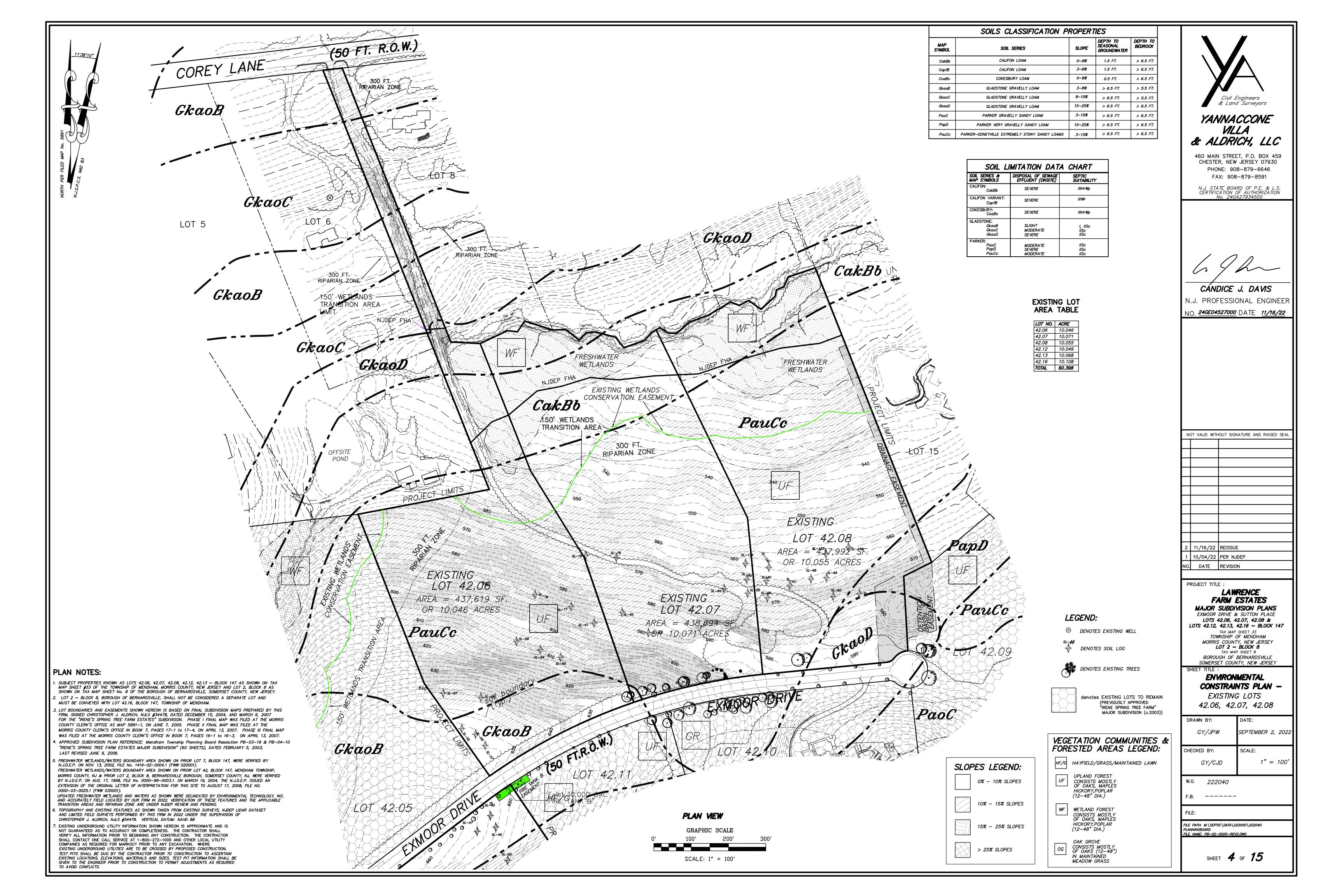
TITLE SHEET

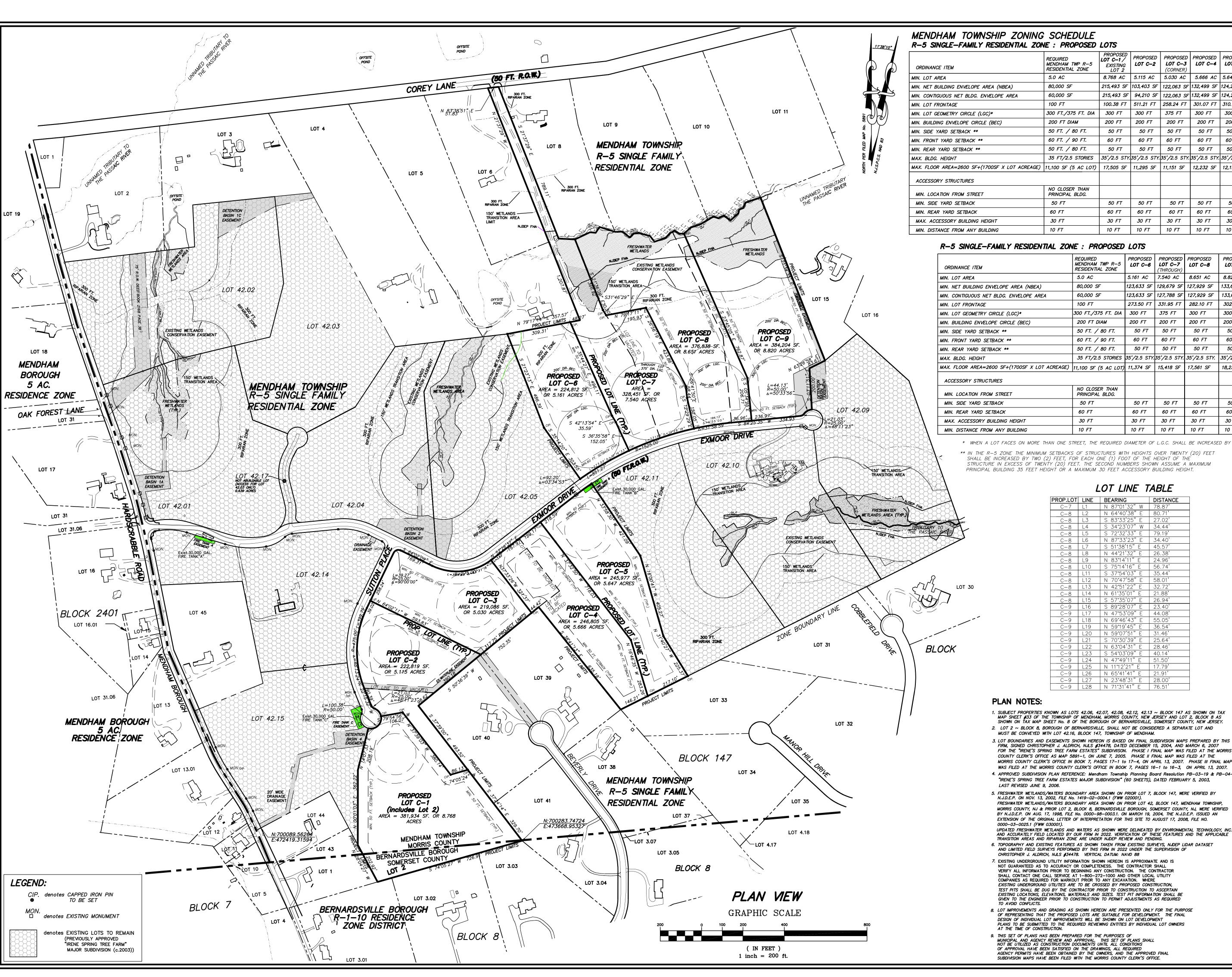
		DRAWN BY:	DATE:
	DRAWING INDEX	GY/JPW	SEPTEMBER 2, 2022
HEET	SHEET TITLE	CHECKED BY:	SCALE:
1	TITLE SHEET	GY/CJD	1" = 500'
2	OVERALL EXISTING TRACT PLAN		
3	ENVIRONMENTAL CONTRAINTS PLAN — EXISTING LOTS 42.12, 42.13, 42.16 & 2	W.O.	
4	ENVIRONMENTAL CONSTRAINTS PLAN — EXISTING LOTS 42.06, 42.07, 42.08	^{11.0.} 222040	
5	MAJOR SUBDIVISION PLAN	F.B.	
6	GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - Proposed Lots C-1, C-2, C-3, C-4, C-5	r.D.	
7	GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - Proposed Lots C-6, C-7, C-8, C-9		
8	SLOPE ANALYSIS PLAN - Proposed Lots C-1, C-2, C-3, C-4, C-5	FILE:	
9	SLOPE ANALYSIS PLAN - Proposed Lots C-6, C-7, C-8, C-9	FILE PATH: M:\SEPTIC\DATA\2	222000\222040
10	EXISTING LANDSCAPING INVENTORY PLAN - Proposed Lots C-1, C-2, C-3, C-4, C-5		
11	FXISTING LANDSCAPING INVENTORY PLAN - Proposed Lats C-6 C-7 C-8 C-9	FILE NAME: PB-01-TITLESHEET	T-rev2.DWG

SHEET **1** OF **15**









MENDHAM TOWNSHIP ZONING SCHEDULE R-5 SINGLE-FAMILY RESIDENTIAL ZONE : PROPOSED LOTS

| PROPOSED | PROPOSED | PROPOSED REQUIRED MENDHAM TWP R-5 LOT C-1/ | LOT C-2 | LOT C-3 | LOT C-4 | LOT C-5 EXISTING LOT 2 RESIDENTIAL ZONE 5.0 AC 8.768 AC | 5.115 AC | 5.030 AC | 5.666 AC | 5.647 AC MIN. NET BUILDING ENVELOPE AREA (NBEA) 80,000 SF | 215,493 SF |103,403 SF | 122,063 SF |132,499 SF |124,230 SF MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA 60,000 SF | 215,493 SF | 94,210 SF | 122,063 SF |132,499 SF |124,230 SI 100 FT 300 FT 375 FT 300 FT 300 FT 300 FT./375 FT. DIA 200 FT DIAM 200 FT 200 FT 200 FT | 200 FT MIN. BUILDING ENVELOPE CIRCLE (BEC) 50 FT 50 FT. / 80 FT. 50 FT 50 FT 60 FT 60 FT | 60 FT 60 FT. / 90 FT. 60 FT 50 FT. / 80 FT. 50 FT | 50 FT 50 FT | 50 FT 35 FT/2.5 STORIES | 35'/2.5 STY.|35'/2.5 STY.|35'/2.5 STY.|35'/2.5 STY.|35'/2.5 S MAX. FLOOR AREA=2600 SF+(1700SF X LOT ACREAGE) | 11,100 SF (5 AC LOT) | 17,505 SF | 11,295 SF | 11,151 SF | 12,232 SF | 12,199 SF NO CLOSER THAN PRINCIPAL BLDG. 50 FT 50 FT 50 FT 60 FT 60 FT 60 FT 60 FT 60 FT 60 FT 30 FT 30 FT 30 FT 30 FT

R-5 SINGLE-FAMILY RESIDENTIAL ZONE : PROPOSED LOTS

10 FT

ORDINANCE ITEM	REQUIRED MENDHAM TWP R-5 RESIDENTIAL ZONE	PROPOSED LOT C-6	PROPOSED LOT C-7 (THROUGH)	PROPOSED LOT C-8	PROPOSED LOT C-9
MIN. LOT AREA	5.0 AC	5.161 AC	7.540 AC	8.651 AC	8.820 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	123,633 SF	129,679 SF	127,929 SF	133,677 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	123,633 SF	127,788 SF	127,929 SF	133,677 SF
MIN. LOT FRONTAGE	100 FT	273.50 FT	331.95 FT	282.10 FT	302.13 FT
MIN. LOT GEOMETRY CIRCLE (LGC)*	300 FT./375 FT. DIA	300 FT	375 FT	300 FT	300 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	200 FT	200 FT	200 FT	200 FT
MIN. SIDE YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT. / 90 FT.	60 FT	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT/2.5 STORIES	35'/2.5 STY.	35'/2.5 STY.	35'/2.5 STY.	35'/2.5 ST
MAX. FLOOR AREA=2600 SF+(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	11,374 SF	15,418 SF	17,561 SF	18,236 SF
ACCESSORY STRUCTURES	•				
MIN. LOCATION FROM STREET	NO CLOSER THAN PRINCIPAL BLDG.				
MIN. SIDE YARD SETBACK	50 FT	50 FT	50 FT	50 FT	50 FT
MIN. REAR YARD SETBACK	60 FT	60 FT	60 FT	60 FT	60 FT
MAX. ACCESSORY BUILDING HEIGHT	30 FT	30 FT	30 FT	30 FT	30 FT
MIN. DISTANCE FROM ANY BUILDING	10 FT	10 FT	10 FT	10 FT	10 FT

* WHEN A LOT FACES ON MORE THAN ONE STREET, THE REQUIRED DIAMETER OF L.G.C. SHALL BE INCREASED BY 25%. ** IN THE R-5 ZONE THE MINIMUM SETBACKS OF STRUCTURES WITH HEIGHTS OVER TWENTY (20) FEET SHALL BE INCREASED BY TWO (2) FEET, FOR EACH ONE (1) FOOT OF THE HEIGHT OF THE STRUCTURE IN EXCESS OF TWENTY (20) FEET. THE SECOND NUMBERS SHOWN ASSUME A MAXIMUM PRINCIPAL BUILDING 35 FEET HEIGHT OR A MAXIMUM 30 FEET ACCESSORY BUILDING HEIGHT.

IOT INF TABLE

10 FT

10 FT

10 FT

	_	OI LINE I	ADLE
PROP.LOT	LINE	BEARING	DISTANCE
C-7	L1	N 87°01'32" W	78.87'
C-8	L2	N 64°40'38" E	80.71'
C-8	L3	S 83°33'25" E	27.02'
C-8	L4	S 34°23'07" W	34.44'
C-8	L5	S 72°32'33" E	79.19'
C-8	L6	N 87°33'23" E	34.40'
C-8	L7	S 51°38'15" E	45.57'
C-8	L8	N 44°21'32" E	26.38'
C-8	L9	N 83°14'11" E	24.96'
C-8	L10	S 75°14'16" E	56.74'
C-8	L11	S 37°54'03" E	35.44'
C-8	L12	N 70°47'58" E	58.01'
C-8	L13	N 42°51'22" E	32.72'
C-8	L14	N 61°35'01" E	21.88'
C-8	L15	S 57°35'07" E	26.94'
C-9	L16	S 89°28'07" E	23.40'
C-9	L17	N 47°53'09" E	44.08'
C-9	L18	N 69°46'43" E	55.05'
C-9	L19	N 59°19'45" E	36.54'
C-9	L20	N 59°07'51" E	31.46'
C-9	L21	S 70°30'39" E	25.64'
C-9	L22	N 63°04'31" E	28.46'
C-9	L23	S 54°03'09" E	40.14'
C-9	L24	N 47°49'11" E	51.50'
C-9	L25	N 11°12'21" E	17.79'
C-9	L26	N 65°41'41" E	21.91'
C-9	L27	N 23°48'31" E	28.00'
C-9	L28	N 71°31'41" E	76.51

PLAN NOTES:

- 1. SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX
- MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY. 2. LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- FIRM, SIGNED CHRISTOPHER J. ALDRICH, NJLS #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISON. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 to 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 to 16-3, ON APRIL 13, 2007. 4. APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- 5. FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE No. 1419-02-0004.1 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE No. 0000-98-0003.1. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-0025.1 (FWW 030001).
- UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- 6. TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF
- CHRISTOPHER J. ALDRICH, NJLS #34478. VERTICAL DATUM: NAVD 88 7. EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO ASSERT TO ASSERT OF THE PROPERTY OF THE PROPER
- TO AVOID CONFLICTS. 8. LOT IMPROVEMENTS AND GRADING AS SHOWN HEREON ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- 9. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS, ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNERS, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.

Civil Engineers & Land Surveyors YANNACCONE VILLA & ALDRICH, LLC

460 MAIN STREET, P.O. BOX 459 CHESTER, NEW JERSEY 07930 PHONE: 908-879-6646 FAX: 908-879-8591

N.J. STATE BOARD OF P.E. & L.S. CERTIFICATION OF AUTHORIZATION No. 24GA27934500

10 FT | 10 FT

CANDICE J. DAVIS I.J. PROFESSIONAL ENGINEER

NO. 24GE04527000 DATE 11/16/22

NEW JERSEY LICENSED PROFESSIONAL ENGINEER AND LAND SURVEYOR No. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEA 2 11/16/22 REISSUE 10/04/22 REV. PER TWP.TRC. & NJDEP DATE REVISION

PROJECT TITLE :

LA WRENCE FARM ESTATES MAJOR SUBDIVISION PLANS

EXMOOR DRIVE & SUTTON PLACE

LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147 TAX MAP SHEET 33 TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY

LOT 2 ~ BLOCK 8 TAX MAP SHEET 8 BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

MAJOR SUBDIVISION **PLAN**

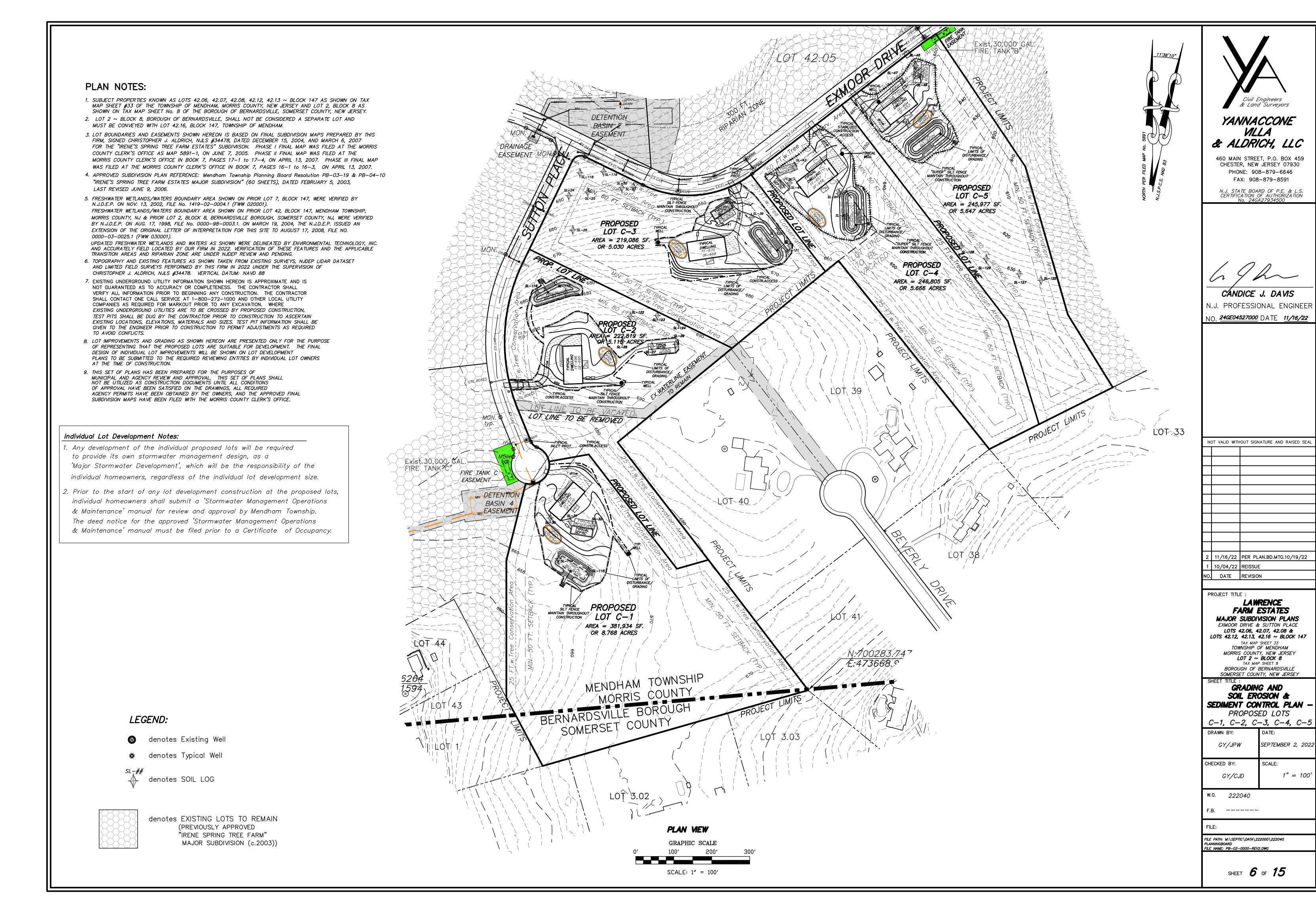
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GY/JPW	SEPT 2, 2022
CHECKED BY:	SCALE:
GY/CJD	1"=200'
W.O. 222040	

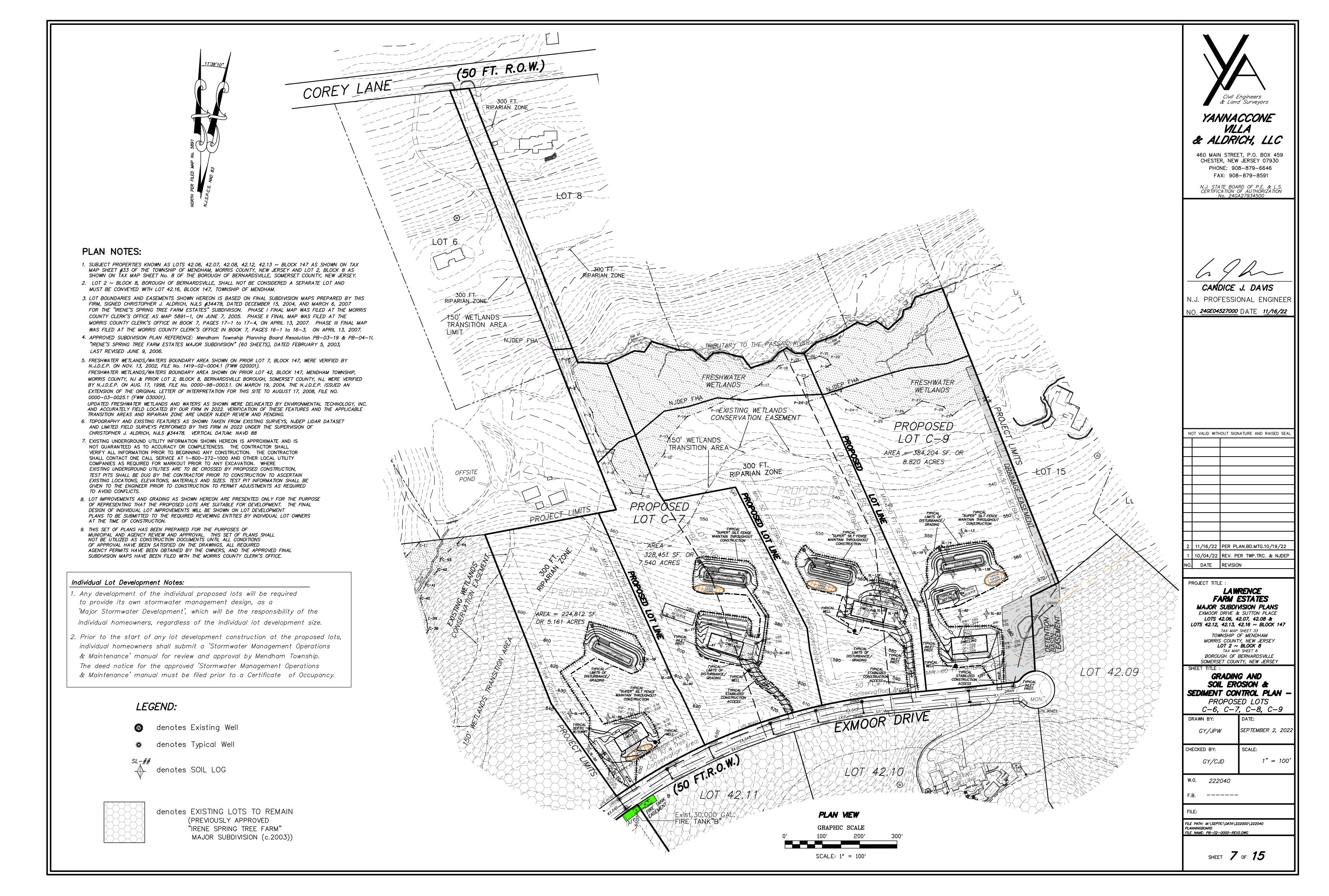
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SHEET **5** OF **15**





MENDHAM TWP TYPICAL SLOPE DISTURBANCE TABULATION

	PROPOSED LOT C-1									
LAND	SLOPE	AREA	TYPICAL DISTU	HOUSE, YARD	TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	COMMENTS		
SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS		
	0-10%	375,901	0	53,562	53,562	14%	NO LIMIT	COMPLIES		
	10-15%	5,890	0	140	140	2%	25%	COMPLIES		
	15-25%	143	0	0	0	0%	15%	COMPLIES		
	>25%	0	0	0	0	0%	5%	COMPLIES		

PROPOSED LOT C-2									
LAND	SLOPE	AREA	TYPICAL DISTU	JRBED AREAS HOUSE, YARD	TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	COMMENTS	
SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS	
	0-10%	148,471	0	47,516	47,516	32%	NO LIMIT	COMPLIES	
	10-15%	57,143	0	5,344	5,344	9%	25%	COMPLIES	
	15-25%	16,261	0	578	578	3.6%	15%	COMPLIES	
	>25%	944	0	0	0	0%	5%	COMPLIES	

	PROPOSED LOT C-3										
LAND	SLOPE	AREA PUBLIC		JRBED AREAS HOUSE, YARD	TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	001415170			
SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS			
	0-10%	80,069	0	33,879	33,879	42%	NO LIMIT	COMPLIES			
	10-15%	109,790	0	18,022	18,022	16%	25%	COMPLIES			
	15-25%	27,665	0	1,537	1,537	5.5%	15%	COMPLIES			
	>25%	1,562	0	0	0	0%	5%	COMPLIES			

	PROPOSED LOT C-4									
LAND	SLOPE AREA		AREA PUBLIC HOUSE, YARD		TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	COMMENTS		
SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS		
	0-10%	136,397	0	41,376	41,376	30%	NO LIMIT	COMPLIES		
	10-15%	94,871	0	6,235	6,235	6.5%	25%	COMPLIES		
	15-25%	15,418	0	0	0	0%	15%	COMPLIES		
	>25%	119	0	0	0	0%	5%	COMPLIES		

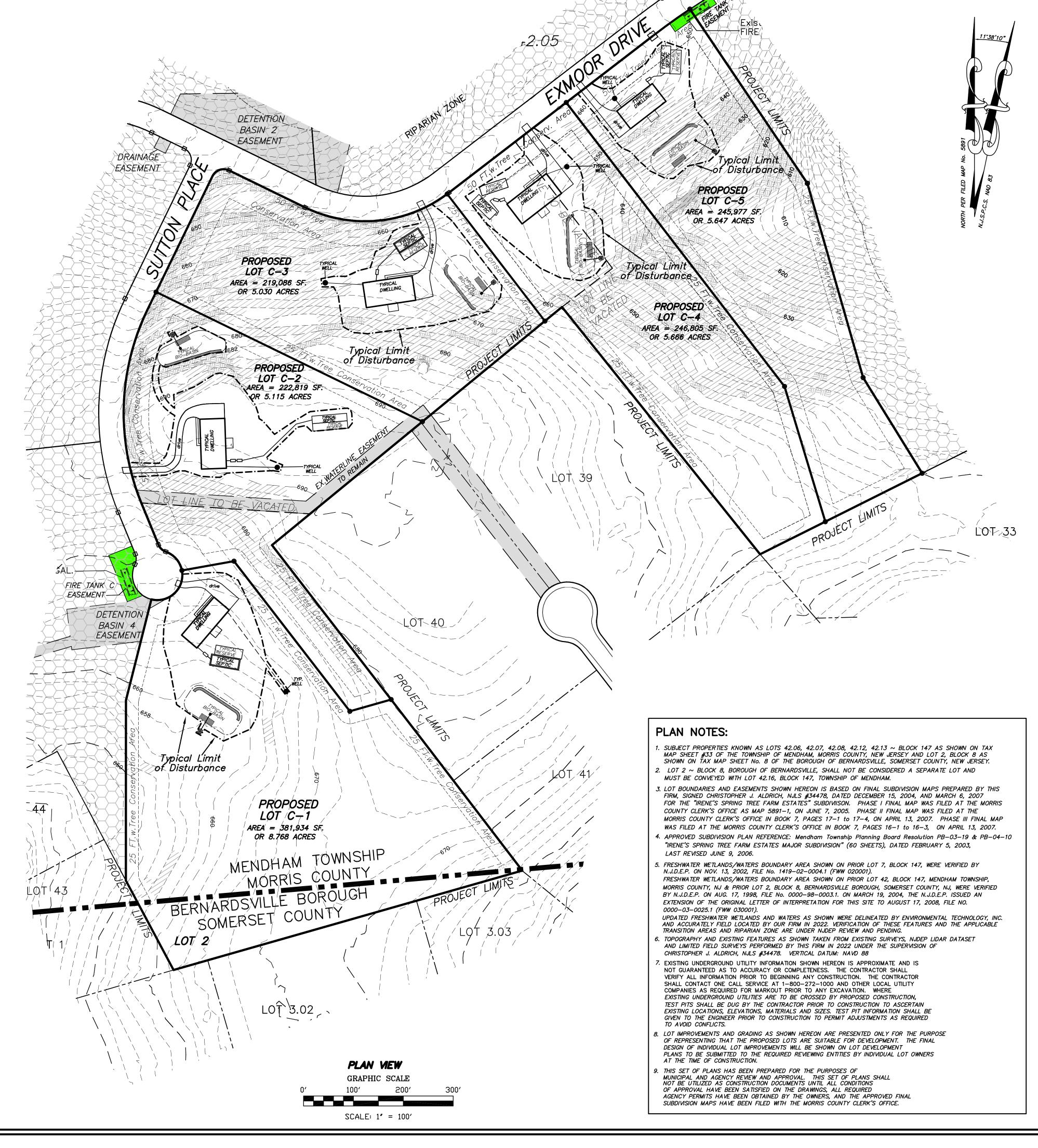
PROPOSED LOT C-5										
LAND	SLOPE	AREA	TYPICAL DISTU	RBED AREAS HOUSE, YARD	TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	COMMENTS		
SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS		
	0-10%	102,934	0	17,901	17,901	17%	NO LIMIT	COMPLIES		
	10-15%	116,356	0	20,450	20,450	17.5%	25%	COMPLIES		
	15-25%	25,358	0	2,662	2,662	10.5%	15%	COMPLIES		
	>25%	1,329	0	0	0	0%	5%	COMPLIES		

NOTE: STEEP SLOPES ANALYISIS BASED ON 2 FOOT CONTOUR INTERVALS.

denotes EXISTING LOTS TO REMAIN
(PREVIOUSLY APPROVED

"IRENE SPRING TREE FARM"

MAJOR SUBDIVISION (c.2003))



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N.J. STATE BOARD OF P.E. & L.S. CERTIFICATION OF AUTHORIZATION No. 24GA27934500

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CÁNDICE J. DAVIS

N.J. PROFESSIONAL ENGINEER

NO. **24GE04527000** DATE **1<u>1/16/2</u>2**

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

2 11/16/22 PER PLAN.BD.MTG.10/19/22

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 10/04/22
 REISSUE

 NO.
 DATE
 REVISION

PROJECT TITLE :

LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS

EXMOOR DRIVE & SUTTON PLACE
LOTS 42.06, 42.07, 42.08 &
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147

TAX MAP SHEET 33
TOWNSHIP OF MENDHAM
MORRIS COUNTY, NEW JERSEY

LOT 2 ~ BLOCK 8

TAX MAP SHEET 8

BOROUGH OF BERNARDSVILLE

SOMERSET COUNTY, NEW JERSEY

SLOPE ANALYSIS
PLAN -

PROPOSED LOTS

C-1, C-2, C-3, C-4, C-5

CHECKED BY: GY/CJD J'' = 100'

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SHEET **8** OF **15**

MENDHAM TWP TYPICAL SLOPE DISTURBANCE TABULATION

PROPOSED LOT C-6									
LAND SLOPE		AREA	TYPICAL DISTU	URBED AREAS HOUSE, YARD	TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	COMMENTS	
SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS	
	0-10%	23,547	0	12,855	12,855	54.6%	NO LIMIT	COMPLIES	
	10-15%	95,427	0	19,574	19,574	20.5%	25%	COMPLIES	
	15-25%	98,961	0	9,926	9,926	10%	15%	COMPLIES	
	>25%	6,877	0	100	100	1.5%	5%	COMPLIES	

	PROPOSED LOT C-7									
LAND	SLOPE	AREA	TYPICAL DISTU	RBED AREAS HOUSE, YARD	TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	COMMENTS		
SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS		
	0-10%	67,382	0	3,764	3,764	5.6%	NO LIMIT	COMPLIES		
	10-15%	149,742	0	26,539	26,539	18%	25%	COMPLIES		
	15-25%	96,457	0	12,178	12,178	12.6%	15%	COMPLIES		
	>25%	14,870	0	564	564	3.8%	5%	COMPLIES		

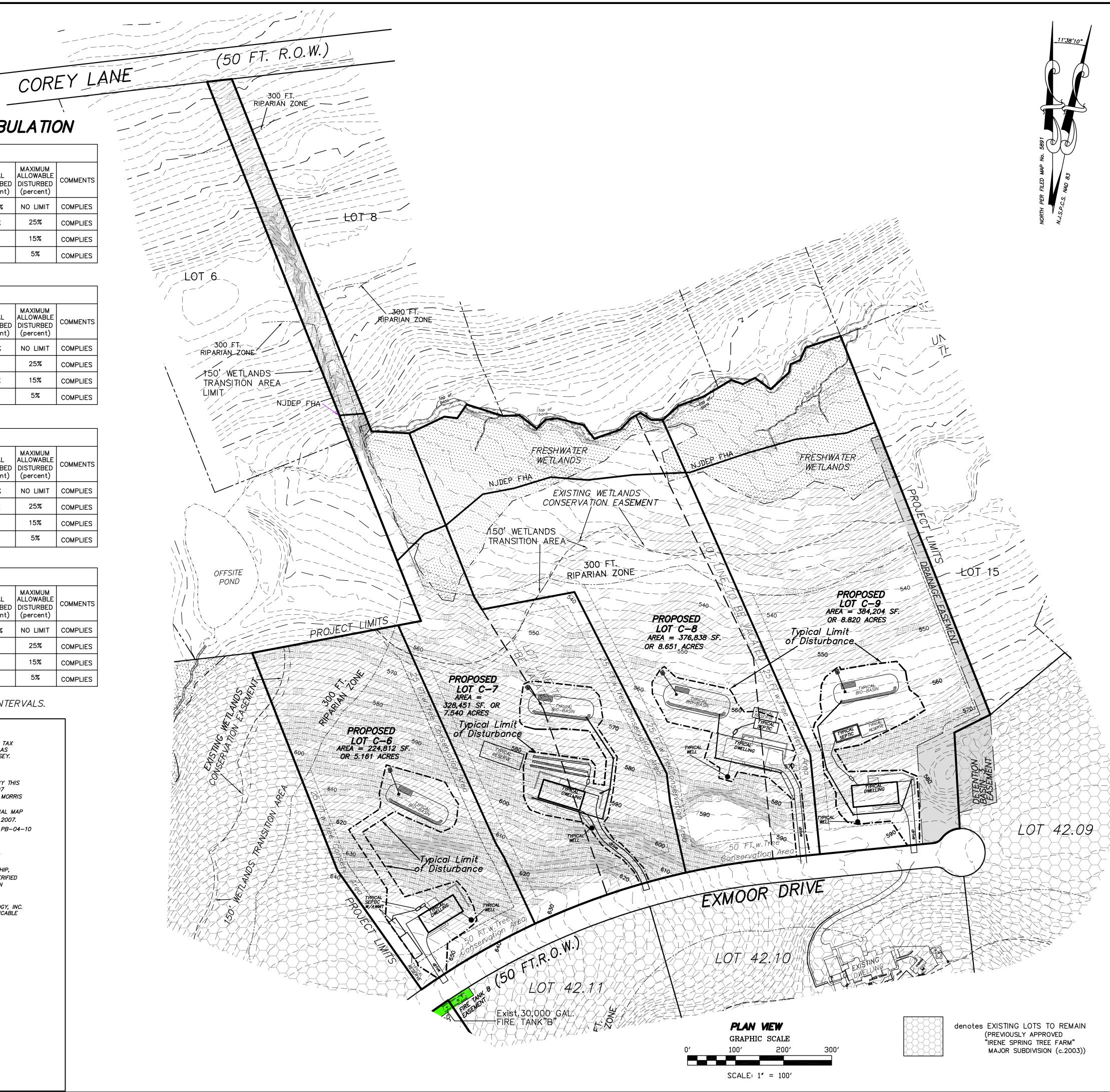
				PROP	OSED LOT (C-8			
	LAND :	SLOPE	AREA	PUBLIC	JRBED AREAS HOUSE, YARD	TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	COMMENTS
5	SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS
		0-10%	235,805	0	12,217	12,217	5.2%	NO LIMIT	COMPLIES
		10-15%	114,454	0	25,002	25,002	17.3%	25%	COMPLIES
		15-25%	22,616	0	2,236	2,236	9.9%	15%	COMPLIES
		>25%	3,963	0	0	0	0%	5%	COMPLIES

	PROPOSED LOT C-9										
LAND	SLOPE	AREA	TYPICAL DISTU	URBED AREAS HOUSE, YARD	TYPICAL TOTAL AREA	TOTAL	MAXIMUM ALLOWABLE	COMMENTS			
SYMBOL	CATEGORY	(sq.ft)	IMPROVEMENTS (sq.ft.)	SEPTIC & DRIVE (sq.ft.)	DISTURBED (sq.ft.)	DISTURBED (percent)	DISTURBED (percent)	COMMENTS			
	0-10%	210,039	0	35,129	35,129	16.7%	NO LIMIT	COMPLIES			
	10-15%	143,835	0	14,572	14,572	10%	25%	COMPLIES			
	15-25%	26,790	0	1,842	1,842	6.9%	15%	COMPLIES			
	>25%	3,540	0	0	0	0%	5%	COMPLIES			

NOTE: STEEP SLOPES ANALYISIS BASED ON 2 FOOT CONTOUR INTERVALS.

PLAN NOTES:

- 1. SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- 2. LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- 3. LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, NJLS #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISON. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 to 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 to 16-3, ON APRIL 13, 2007.
- 4. APPROVED SUBDIVISION PLAN REFERENCE: Mendham Township Planning Board Resolution PB-03-19 & PB-04-10 "IRENE'S SPRING TREE FARM ESTATES MAJOR SUBDIVISION" (60 SHEETS), DATED FEBRUARY 5, 2003, LAST REVISED JUNE 9, 2006.
- 5. FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE No. 1419-02-0004.1 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE No. 0000-98-0003.1. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-0025.1 (FWW 030001).
- UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- 6. TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, NJLS #34478. VERTICAL DATUM: NAVD 88
- 7. EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- 8, LOT IMPROVEMENTS AND GRADING AS SHOWN HEREON ARE PRESENTED ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON LOT DEVELOPMENT PLANS TO BE SUBMITTED TO THE REQUIRED REVIEWING ENTITIES BY INDIVIDUAL LOT OWNERS AT THE TIME OF CONSTRUCTION.
- 9. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS, ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNERS, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.





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CÁNDICE J. DAVIS

N.J. PROFESSIONAL ENGINEER NO. **24GE04527000** DATE **11/16/22**

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2 | 11/16/22 | PER PLAN.BD.MTG.10/19/22 1 10/04/22 REV. PER TWP.TRC. & NJDEP DATE REVISION

PROJECT TITLE:

LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS EXMOOR DRIVE & SUTTON PLACE LOTS 42.06, 42.07, 42.08 &

LOTS 42.12, 42.13, 42.16 ~ BLOCK 147 TAX MAP SHEET 33 TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY LOT 2 ~ BLOCK 8 TAX MAP SHEET 8 BOROUGH OF BERNARDSVILLE

> SLOPE ANALYSIS PLAN -

SOMERSET COUNTY, NEW JERSEY

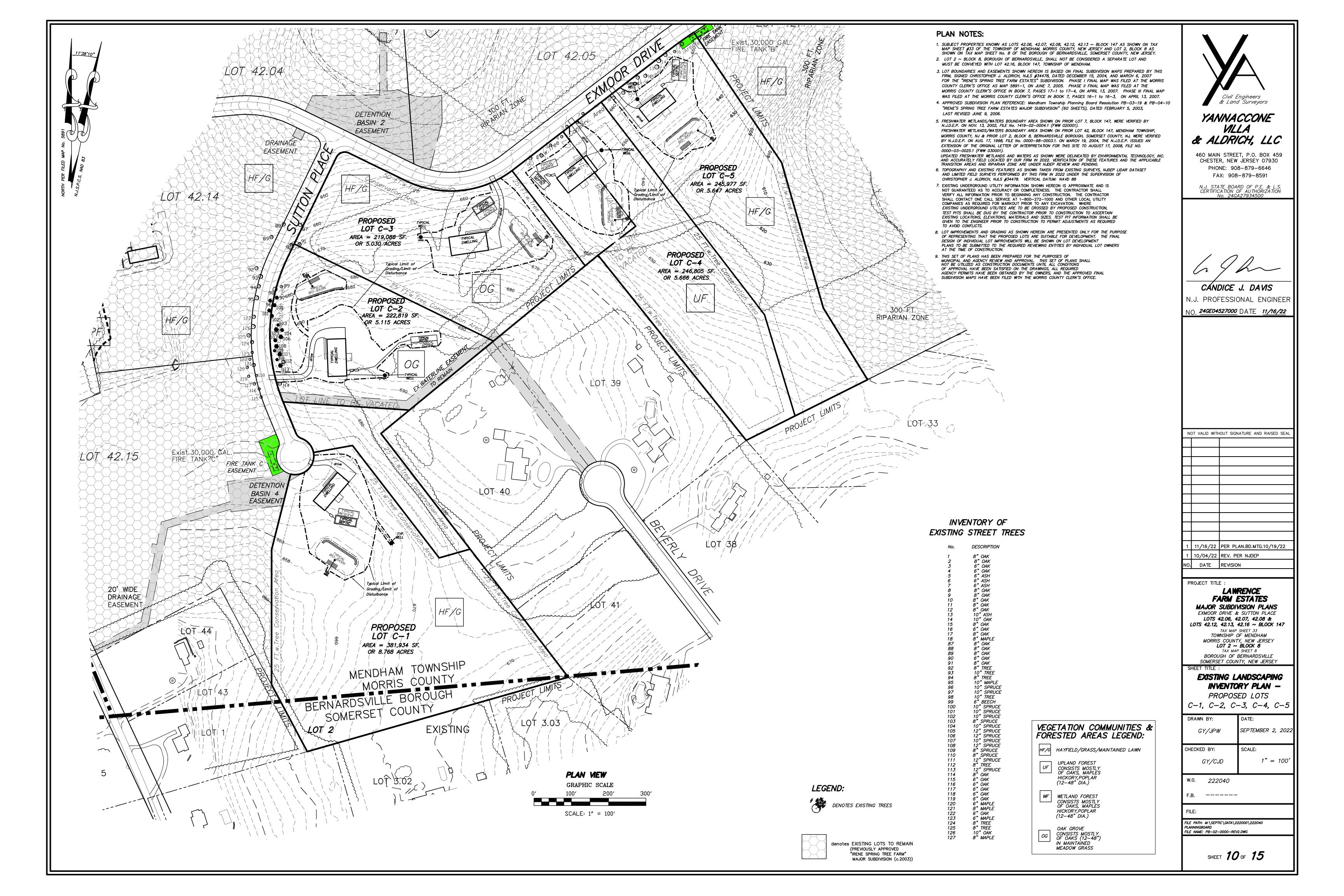
PROPOSED LOTS C-6, C-7, C-8, C-9

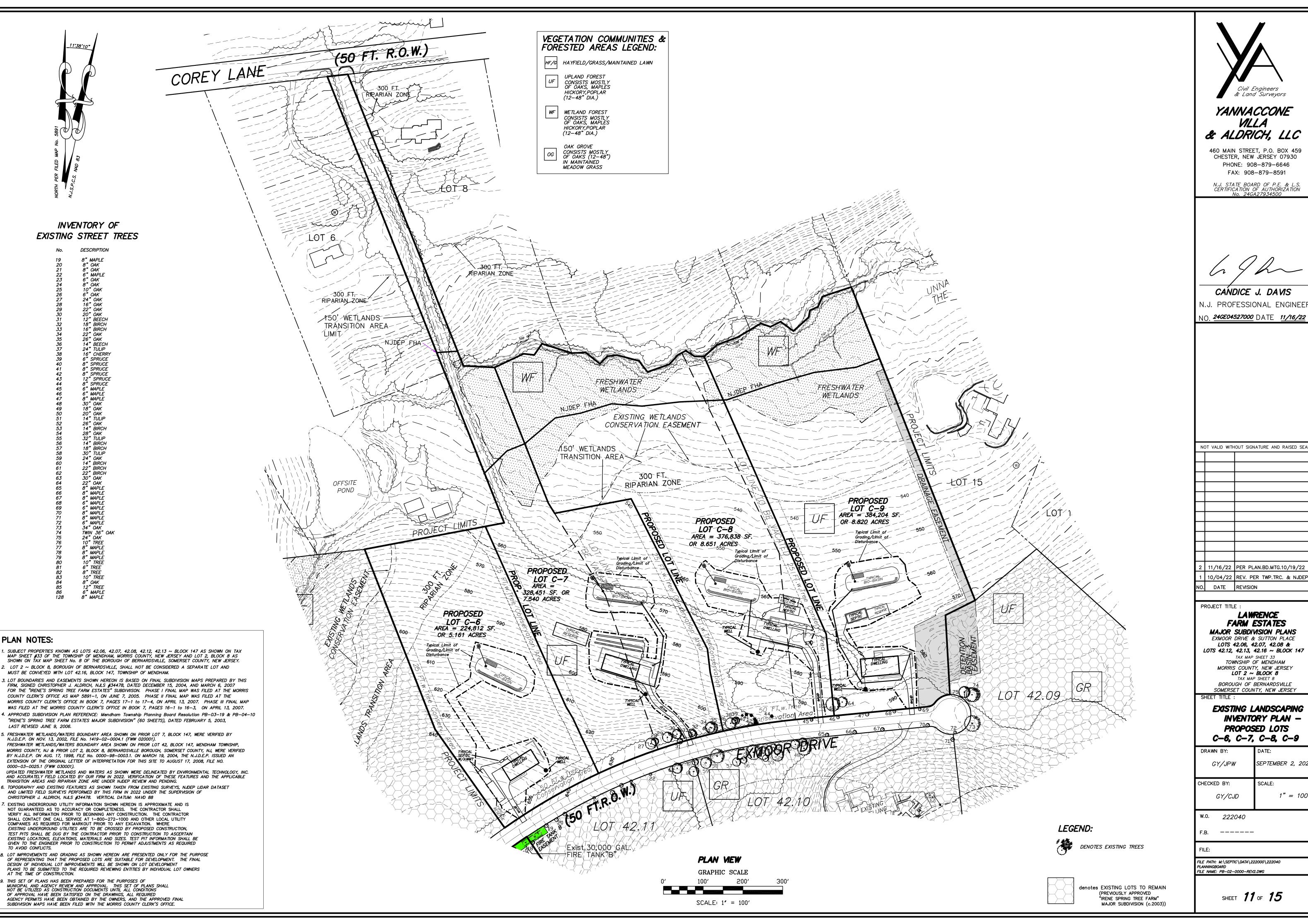
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SHEET **9** OF **15**





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LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS EXMOOR DRIVE & SUTTON PLACE

TAX MAP SHEET 33 TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY LOT 2 ~ BLOCK 8 TAX MAP SHEET 8

BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

EXISTING LANDSCAPING INVENTORY PLAN -PROPOSED LOTS C-6, C-7, C-8, C-9

SEPTEMBER 2, 2022 GY/JPW CHECKED BY: SCALE: 1" = 100'*GY/CJD*

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SHEET 11 OF 15

SOIL LOG #41 0"-30" CLEAN FILL, BROWN (7.5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM, YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM, 10% GRAVEL, 10% COBBLES 10% GRAVEL, 10% COBBLES
30"-72" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE LOAM,
10% GRAVEL, 10% COBBLES, 5% STONES
72"-138" YELLOWISH RED (5YR 4/6), SUBANGULAR BLOCKY, FRIABLE SANDY LOAM,
5% GRAVEL, 10% COBBLES & 5% STONES
NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. 6"-72" STRONG BROWN (7.5YR 5/8), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM, 0.8 GKAYEE '2"-148" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% COBBLES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. SOIL LOG #14 0"-4" TOPSOIL (WOODLAND COVER) SOIL PERMEABILITY CLASS RATING TESTS 41A & 41B 4"-48" YELLOWISH BROWN (10YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 5% GRAVEL, 10% COBBLES, 5% STONES DEPTH OF SAMPLE=96" SOIL PERMEABILITY CLASS RATING= K4 48"-120" BROWNISH YELLOW (10YR 6/8) LOOSE, SINGLE GRAIN SANDY LOAM, 5% GRAVEL, 20% COBBLES, 20% STONES SOIL LOG #42 0"-24" CLEAN FILL, BROWN (7.5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM, 10% GRAVEL, 10% COBBLES, 20% STONES 120" MACHINE REFUSAL NO GROUNDWATER. NO MOTTLES. ROOTS TO 24". 24"-36" TOPSOIL 36"-132" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, SOIL PERMEABILITY CLASS RATING TESTS 14A & 14B
DEPTH OF SAMPLE=84"
SOIL PERMEABILITY CLASS RATING= K5 10% GRAVEL, 10% COBBLES

NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. SOIL LOG #15 0"-5" TOPSOIL (WOODLAND COVER) SOIL PERMEABILITY CLASS RATING TESTS 42A & 42B
DEPTH OF SAMPLE=96"
SOIL PERMEABILITY CLASS RATING= K4 5"-40" YELLOWISH BROWN (10YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 40"-114" BROWNISH YELLOW (10YR 6/8) LOOSE, SINGLE GRAIN, SANDY LOAM, 5% GRAVEL, 20% COBBLES, 20% STONES SOIL LOG #43
0"-24" CLEAN FILL, BROWN (7.5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM,
10% GRAVEL, 10% COBBLES, 20% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 24". SOIL LOG #16 0"-5" TOPSOIL (WOODLAND COVER) 6"-72" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 0% GRAVEL, 20% COBBLES, 10% STONES 5"-48" YELLOWISH BROWN (10YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 5% GRAVEL, 5% COBBLES, 5% STONES 12"-138" REDDISH YELLOW (5YR 7/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 40% FRACTURED ROCK
NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. 48"-132" BROWNISH YELLOW (10YR 6/8) LOOSE, SINGLE GRAIN SANDY LOAM, 5% GRAVEL, 10% COBBLES, 20% STONES
NO GROUNDWATER. NO MOTTLES. ROOTS TO 24". SOIL PERMEABILITY CLASS RATING TESTS 43A & 43B DEPTH OF SAMPLE=96"
SOIL PERMEABILITY CLASS RATING= K5 SOIL LOG #17 0"-5" TOPSOIL (WOODLAND COVER) 5"-36" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 5% GRAVEL, 5% COBBLES SOIL LOG #44
0"-16" CLEAN FILL, BROWN (7.5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM,
10% GRAVEL, 10% COBBLES, 20% STONES 36"-96" YELLOWSH RED (5YR 4/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 5% GRAVEL, 5% COBBLES, 10% STONES 96"-132" YELLOWISH RED (5YR 4/6), SUBANGULAR BLOCKY, FRIABLE SANDY LOAM, 10% GRAVEL, 20% COBBLES, 10% STONES 30"-72" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 10% COBBLES
72"-136" REDDISH YELLOW (5YR 7/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, NO GROUNDWATER. NO MOTTLES. ROOTS TO 24 10% GRAVEL,10% COBBLES
NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. SOIL PERMEABILITY CLASS RATING TESTS 17A & 17B DEPTH OF SAMPLE=84"
SOIL PERMEABILITY CLASS RATING= K5 SOIL LOG #45 0"-12" TOPSOIL (LAWN) 0 -12 TOP-SOL (LAWN)
12"-132" REDDISH YELLOW (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND,
5% GRAVEL, 20% COBBLES, 20% STONES
NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. SOIL LOG #18 0"-4" TOPSOIL (WOODLAND COVER) 4"-30" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 5% GRAVEL, 5% COBBLES SOIL PERMEABILITY CLASS RATING TESTS 45A & 45B DEPTH OF SAMPLE=84" SOIL PERMEABILITY CLASS RATING= K5 30"-96" YELLOWISH RED (5YR 4/6), SUBANGULAR BLOCKY, FRIABLE LOAMY SAND, 5% GRAVEL, 5% COBBLES, 5% STONES 96"-126" YELLOWISH RED (5YR 4/6), LOOSE, SINGLE GRAIN, LOAMY SAND, 5% GRAVEL, 10% COBBLES, 5% STONES SOIL LOG #46 0"-12" TOPSOIL (LAWN) NO GROUNDWATER. NO MOTTLES. ROOTS TO 24". 12"-109" REDDISH YELLOW (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, SOIL PERMEABILITY CLASS RATING TESTS 18A & 18B DEPTH OF SAMPLE=84"
SOIL PERMEABILITY CLASS RATING= K4 5% GRAVEL, 20% COBBLES, 20% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. SOIL LOG #47 0"-12" TOPSOIL (LAWN) 12"-132" REDDISH YELLOW (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, TOPSOIL (MEADOW GRASS COVER) 5% GRAVEL, 10% COBBLES, 10% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. 6"-24" REDDISH YELLOW (7.5YR 4/6), SUBANGULAR BLOCKY, FRIABLE LOAM, 24"-48" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE SANDY LOAM, SOIL LOG #54 0"-12" TOPSOIL (MEADOW GRASS COVER) 10% GRAVEL, 10% COBBLES

48"-82" STRONG BROWN (7.5YR 4/6), FRIABLE SUBANGULAR BLOCKY, SANDY LOAM, 12"-42" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAM,10% GRAVEL, 10% COBBLES 10% GRAVEL, 10% COBBLES, 20% STONES 42"-144" REDDISH YELLOW (7.5YR 6/8), LOOSE, SINGLE GRAIN, SAND, 10% GRAVEL, 10% COBBLES, 5% STONES 82"-84" FRACTURED ROCK 84" MACHINE REFUSAL NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. NO GROUNDWATER. NO MOTTLES. ROOTS TO 84" SOIL PERMEABILITY CLASS RATING TESTS 54A & 54B SOIL LOG #24 0"-8" TOPSOIL (MEADOW GRASS COVER) DEPTH OF SAMPLE=84"
SOIL PERMEABILITY CLASS RATING= K5 8"-28" YELLOWISH RED (5YR 5/6), SUBÁNGULAR BLOCKY, FRIABLE LOAM, 28"-96" YELLOWISH RED (5YR 5/8), SUBANGULAR BLOCKY, FRIABLE SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES 2"-36" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 96"-126" REDDISH BROWN (5YR 4/4), LOOSE, SINGLE GRAIN, LOAMY SAND, 10% GRAVEL, 10% COBBLES, 20% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. 36"-132" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 20% COBBLES, 10% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 24". SOIL LOG #25 0"-6" TOPSOIL (MEADOW GRASS COVER) 6"-24" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE LOAM, SOIL LOG #56 0"-12" TOPSOIL (WOODS) 12"-46" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 24"-96" YELLOWSH RED (5YR 5/8), SUBANGULAR BLOCKY, FRIABLE SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES 46"-126" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 20% COBBLES, 10% STONES 96"-109" REDDISH BROWN (5YR 4/4), LOOSE, SINGLE GRAIN, LOAMY SAND, 10% GRAVEL, 10% COBBLES, 20% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. NO GROUNDWATER, NO MOTTLES, ROOTS TO 24" SOIL PERMEABILITY CLASS RATING TESTS 25A & 25B DEPTH OF SAMPLE=84"
SOIL PERMEABILITY CLASS RATING= K4 SOIL PERMEABILITY CLASS RATING TESTS 56A & 56B DEPTH OF SAMPLE=84" SOIL PERMEABILITY CLASS RATING= K4 SOIL LOG #26 0"-8" TOPSOIL (MEADOW GRASS COVER) SOIL LOG #57 0"-9" TOPSOIL (WOODS) 9"-40" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 8"-30" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE LOAM, 40"-132" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 20% COBBLES. 10% STONFS 30"-82" YELLOWISH RED (5YR 5/8), SUBANGULAR BLOCKY, FRIABLE SANDY LOAM, 82"-140" STRONG BROWN (7.5YR 5/8), LOOSE, SINGLE GRAIN, LOAMY SAND, NO GROUNDWATER. NO MOTTLES. ROOTS TO 24" 10% GRAVEL, 10% COBBLES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. SOIL PERMEABILITY CLASS RATING TESTS 26A & 26B 5"-60" YELLOWSH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES DEPTH OF SAMPLE=96" SOIL PERMEABILITY CLASS RATING= K5 60"-120" REDDISH YELLOW (5YR 6/6), ANGULAR BLOCKY, LOOSE, LOAMY SAND, NO GROUNDWATER. NO MOTTLES. ROOTS TO 18". SOIL LOG #27 0"-4" TOPSOIL (MEADOW GRASS COVER) 4"-26" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAM, 10% GRAVEL, 10% COBBLES 26"-90" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES SOIL LOG #59 0"-4" TOPSOIL (WOODS) 90"-110" STRONG BROWN (7.5YR 5/6), LOOSE, SINGLE GRAIN, LOAMY SAND. 20% GRAVEL, 20% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. 4"-48" REDDISH BROWN (5YR 4/4). SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND. SOIL PERMEABILITY CLASS RATING TESTS 27A & 27B DEPTH OF SAMPLE=84"
SOIL PERMEABILITY CLASS RATING= K4 48"-144" LIGHT REDDISH BROWN (5YR 6/4), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, SEEPAGE @ 142", MEDIUM FLOW, 2 HOUR READING @ 128". NO MOTTLES. ROOTS TO 18". SOIL LOG #28 0"-3" TOPSOIL (MEADOW GRASS COVER) SOIL PERMEABILITY CLASS RATING TESTS 59A & 59B DEPTH OF SAMPLE=84" SOIL PERMEABILITY CLASS RATING= K5 3"-24" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAM, 10% GRAVEL, 10% COBBLES 24"-84" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES SOIL LOG #60 0"-4" TOPSOIL (WOODS) 84"-109" STRONG BROWN (7.5YR 5/6), LOOSE, SINGLE GRAIN, LOAMY SAND. 20% GRAVEL, 20% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. 4"-46" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES 46"-132" LIGHT REDDISH BROWN (5YR 6/4), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 15% GRAVEL, 10% COBBLES SOIL LOG #29 0"-4" TOPSOIL (MEADOW GRASS COVER) NO GROUNDWATER. NO MOTTLES. ROOTS TO 24". 4"-24" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAM, SOIL LOG #61 0"-6" TOPSOIL (WOODS) 24"-90" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 6"-40" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 5% GRAVEL, 5% COBBLES 10% GRAVEL, 10% COBBLES, 10% STONES 90"-126" YELLOWISH RED (5YR 5/6), LOOSE, SINGLE GRAIN, LOAMY SAND, 40"-132" REDDISH BROWN (5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES 10% GRAVEL, 10% COBBLES, 20% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. NO GROUNDWATER. NO MOTTLES. ROOTS TO 18". SOIL PERMEABILITY CLASS RATING TESTS 29A & 29B DEPTH OF SAMPLE=84"
SOIL PERMEABILITY CLASS RATING= K4 5"-66" YELLOWSH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES SOIL LOG #30 0"-8" TOPSOIL (MEADOW GRASS COVER) 66"-132" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 8"-36" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM, NO GROUNDWATER. NO MOTTLES. ROOTS TO 18". 36"-132" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES SOIL PERMEABILITY CLASS RATING TESTS 62A & 62B ONE POCKET OF VERY SLIGHT, SLOW SEEPAGE @ 48".

NO ACCUMULATION IN BOTTOM OF SOIL LOG AFTER 24 HOURS. DEPTH OF SAMPLE=84" SOIL PERMEABILITY CLASS RATING= K5 NO MOTTLES. NO OBVIOUS ROOTS SOIL LOG #31 0"-8" TOPSOIL (MEADOW GRASS COVER) 4"-58" YELLOWSH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 8"-54" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM, 10% GRAVEL 58"-124" REDDISH YELLOW (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 54"-132" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES NO GROUNDWATER. NO MOTTLES. ROOTS TO 18". TWO POCKETS OF VERY SLIGHT, SLOW SEEPAGE @ 42".
NO ACCUMULATION IN BOTTOM OF SOIL LOG AFTER 24 HOURS. SOIL LOG #64 0"-4" TOPSOIL (WOODS) NO MOTTLES. NO OBVIOUS ROOTS 4"-66" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, SOIL PERMEABILITY CLASS RATING TESTS 31A & 31B DEPTH OF SAMPLE=84" SOIL PERMEABILITY CLASS RATING= K4 66"-140" REDDISH YELLOW (7.5YR 6/6), LOOSE, SINGLE GRAIN, LOAMY SAND, NO GROUNDWATER. NO MOTTLES. ROOTS TO 16". SOIL LOG #32 0"-10" TOPSOIL (MEADOW GRASS COVER) SOIL LOG #65 0"-4" TOPSOIL (WOODS) 10"-42" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SILT LOAM. 4"-36" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND. 42"-132" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 36"-60" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, TWO POCKETS OF VERY SLIGHT, SLOW SEEPAGE @ 36". ACCUMULATION IN BOTTOM OF SOIL LOG AFTER 24 HOURS = 128".
MOTTLES (FEW, FINE & FAINT) 36" - 42". 60"-132" REDDISH YELLOW (7.5YR 7/6), LOOSE, SINGLE GRAIN, LOAMY SAND, 15% GRAVEL NO GROUNDWATER. NO MOTTLES. ROOTS TO 18". SOIL PERMEABILITY CLASS RATING TESTS 65A & 65B DEPTH OF SAMPLE=84"
SOIL PERMEABILITY CLASS RATING= K4 24"-60" BROWN (7.5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM,5% GRAVEL 60"-80" BROWN (7.5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 5% GRAVEL, 80"-132" REDDISH YELLOW (7.5YR 6/8), LOOSE, SINGLE GRAIN, LOAMY SAND, 5% GRAVEL, 5"-30" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 20% COBBLES, 10% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. 30"-56" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL 56"-132" REDDISH YELLOW (7.5YR 7/6), LOOSE, SINGLE GRAIN, LOAMY SAND, 15% GRAVEL SOIL LOG #40 0"-30" TOPSOIL (MEADOW GRASS COVER) GROUNDWATER @ 120" AFTER 4 HOURS. NO MOTTLES. ROOTS TO 14". 30"-72" BROWN (7.5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM,5% GRAVEL 72"-84" BROWN (7.5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 5% GRAVEL, 3"-36" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 84"-138" REDDISH YELLOW (7.5YR 6/8), LOOSE, SINGLE GRAIN, LOAMY SAND, 5% GRAVEL, 20% COBBLES, 10% STONES
NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. 36"-132" REDDISH YELLOW (7.5YR 7/6), LOOSE, SINGLE GRAIN, LOAMY SAND, 15% GRAVEL SEEPAGE @ 85", HEAVY. FOUR-HOUR WATER LEVEL = 80". 24-HOUR READING=76". SOIL PERMEABILITY CLASS RATING TESTS 40A & 40B DEPTH OF SAMPLE=96" SOIL PERMEABILITY CLASS RATING= K5 NO MOTTLES. ROOTS TO 72".

OIL LOG #13 "-8" TOPSOIL (MEADOW GRASS COVER)

4"-36" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 36"-126" REDDISH YELLOW (7.5YR 7/6), LOOSE, SINGLE GRAIN, LOAMY SAND, 15% GRAVEL SEEPAGE @ 72", HEAVY. FOÙR-HOUR WATER LEVEL = 75". 24-HOUR READING=68". SOIL PERMEABILITY CLASS RATING TESTS 68A & 68B
DEPTH OF SAMPLE=78"
SOIL PERMEABILITY CLASS RATING= K4 <u>SOIL LOG #69</u> 0"-6" TOPSOIL (WOODS) 6"-42" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 42"-132" REDDISH YELLOW (7.5YR 7/6), LOOSE, SINGLE GRAIN, LOAMY SAND, 15% GRAVEL SEEPAGE @ 60", HEAVY. FOUR-HOUR WATER LEVEL = 66". 24-HOUR READING=58". NO MOTTLES. ROOTS TO 80". 0 - 6
10-5-Sil.
6"-48" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES 48"-196" REDDISH BROWN (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 15% COBBLES, 10% STONES
NO GROUNDWATER. NO MOTTLES. ROOTS TO 48". PERCOLATION TEST 76A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 2.0 MIN/INCHPERMEABILITY RATE K = A / PM = 22 /2.0 = 11.0 IN/HR4"-58" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES 8"-202" REDDISH BROWN (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 15% COBBLES, 10% STONES PERCOLATION TEST 77 DEPTH OF TEST = 96 BOTTOM WIDTH = 8 PARAMETER A' = 22PERCOLATION RATE (PM) = 1.75 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /1.75 = 12.6 IN/HR8"-60" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES 60"-204" REDDISH BROWN (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 10% COBBLES, 10% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 48". PERCOLATION TEST 78A DEPTH OF TEST = 96" BOTTOM WIDTH = 8"PARAMETER A' = 22PERCOLATION RATE (PM) = 1.5 MIN/INCH PERMEABILITY RATE $\dot{K} = A / PM = 22 /1.5 = 14.7 \text{ IN/HR}$ SOIL PERMEABILITY CLASS RATING TESTS 78A & 78B DEPTH OF SAMPLE=96" SOIL PERMEABILITY CLASS RATING= K 3"-60" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 60"-196" REDDISH BROWN (5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 10% COBBLES, 10% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 42". PERCOLATION TEST 79A DEPTH OF TEST = 96" BOTTOM WIDTH = 8"PARAMETER A' = 22PERCOLATION RATE (PM) = 1.66 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /1.66 = 13.3 IN/HRSOIL PERMEABILITY CLASS RATING TESTS 79A & 79B DEPTH OF SAMPLE=96" SOIL PERMEABILITY CLASS RATING= K5 10"-36" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES 36"-72" YELLOWISH RED (5YR 4/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 10% COBBLES, 5% STONES 72"-192" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES SEEPAGE @ 138", MEDIUM FLOW. FOUR-HOUR WATER LEVEL = 123". NO MOTTLES. ROOTS TO 60". BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 1.83 MIN/INCH PERMEABILITY RATE $\dot{K} = A / PM = 22 /1.83 = 12.0 IN/HR$ SOIL LOG #82 0"-3" TOPSOIL 3"-36" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM 36"—132" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 15% COBBLES, 10% STONES SEEPAGE @ 108", MEDIUM FLOW. FOUR-HOUR WATER LEVEL = 114". PERCOLATION TEST 82A DEPTH OF TEST = 78" BOTTOM WIDTH = 8"PARAMETER A' = 22PERCOLATION RATE (PM) = 3.0 MIN/INCH PERMEABILITY RATE K = A / PM = 22 / 3.0 = 7.33 IN/HR4"-38" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM 38"-132" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM 38"-132" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 15% COBBLES, 10% STONES SEEPAGE @ 120", MEDIUM FLOW. FOUR-HOUR WATER LEVEL = 135". NO MOTTLES. ROOTS TO 46". BOTTOM WIDTH = 8" PERCOLATION RATE (PM) = 2.75 MIN/INCH PERMEABILITY RATE K = A / PM = 22 / 2.75 = 8.0 IN/HRSOIL PERMEABILITY CLASS RATING TESTS 83A & 83B DEPTH OF SAMPLE=78" SOIL PERMEABILITY CLASS RATING= K5 SOIL LOG #92 0"-20" TOPSOIL 20"-66" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 15% GRAVEL, 10% COBBLES, 5% STONES 66"-192" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 15% COBBLES, 10% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 24". PERCOLATION TEST 92A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 2.0 MIN/INCH PERMEABILITY RATE $\dot{K} = A$ / PM = 22 /2.0 = 11.0 IN/HR <u>SOIL LOG #93</u> 0"-12" TOPSOIL 12"-60" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 15% GRAVEL, 10% COBBLES, 5% STONES 60"—194" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 15% COBBLES, 10% STONÉS NO GROUNDWATER. NO MOTTLES. ROOTS TO 14". PERCOLATION TEST 93A DEPTH OF TEST = 96" BOTTOM WIDTH = 8"PARAMETER A' = 22PERCOLATION RATE (PM) = 1.75 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /1.75 = 12.6 IN/HRSOIL LOG #94 0"-8" TOPSOIL 8"-50" BROWN (7.5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES, 10% STONES 50"–198" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 15% GRAVEL, 10% COBBLES. 5% STÓNÉ NO GROUNDWATER. NO MOTTLES. ROOTS TO 12". SOIL PERMEABILILITY CLASS RATING TEST 94A.94B DEPTH OF SAMPLE = 84" SOIL PERMEABILITY CLASS RATING = K5 SOIL LOG #95 0"-14" TOPSOIL 14"-62" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 15% GRAVEL, 5% COBBLES, 5% STONES 62"-192" REDDISH YELLOW (7.5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, SAND, NO GROUNDWATER. NO MOTTLES. ROOTS TO 24". PERCOLATION TEST 95A DEPTH OF TEST = 96" BOTTOM WIDTH = 8"PARAMETER 'A' = 22PERCOLATION RATE (PM) = 1.5 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /1.5 = 14.7 IN/HR

SOIL LOG #68 0"-4" TOPSOIL (WOODS)

4"-48" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES

48"-108" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 15% COBBLES, 15% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 84". PERCOLATION TEST 96A DEPTH OF TEST = 60" BOTTOM WIDTH = 8" PERCOLATION RATE (PM) = 2.5 MIN/INCH PERMEABILITY RATE $\dot{K} = A / PM = 22 /2.5 = 8.8 IN/HR$ 4"-52" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES 52"-120" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 15% COBBLES, 15% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 82". PERCOLATION TEST 97A DEPTH OF TEST = 60" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 3.0 MIN/INCH PERMEABILITY RATE $\dot{K} = A / PM = 22 /3.0 = 7.33 IN/HR$ SOIL LOG #114 0"-24" TOPSOIL 24"-72" YELLOWISH RED (5YR 4/6), SUBANGULAR BLOCKY, FRIABLE, SANDY CLAY LOAM, 15% GRAVEL, 10% COBBLES
72"-206" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, NO GROUNDWATER. MOTTLES, COMMON, COARSE, DISTINCT, 168"-206". ROOTS TO 10". PERCOLATION TEST 114A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 3.25 MIN/INCH PERMEABILITY RATE K = A / PM = 22 / 3.25 = 6.77 IN/HR18"-76" YELLOWISH RED (5YR 4/6), SUBANGULAR BLOCKY, FRIABLE, SANDY CLAY LOAM, 15% GRAVEL, 10% COBBLES 76"-208" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES, 5% STONES NO GROUNDWATER. MOTTLES, COMMON, COARSE, DISTINCT, 162"-208". ROOTS TO 14". PERCOLATION TEST 115A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 3.33 MIN/INCH PERMEABILITY RATE K = A / PM = 22 / 3.33 = 6.61 IN/HRSOIL LOG #116 0"-18" TOPSOIL 18"-84" BROWN (7.5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 84"-192" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 10% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 48". PERCOLATION TEST 116A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 2.25 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /2.25 = 9.78 IN/HR20"-76" BROWN (7.5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 15% GRAVEL, 10% COBBLES 76"-196" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 10% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 60". PERCOLATION TEST 117A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 2.16 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /2.16 = 10.2 IN/HR18"-60" STRONG BROWN (7.5YR 4/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES 60"-196" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES NO GROUNDWATER. NO MOTTLES. ROOTS TO 12". PERCOLATION TEST 118A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 2.0 MIN/INCH PERMEABILITY RATE K = A / PM = 22 / 2.0 = 11.0 IN/HR16"-58" STRONG BROWN (7.5YR 4/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES 58"-194" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES NO GROUNDWATER. NO MOTTLES. ROOTS TO 12". PERCOLATION TEST 119A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 1.83 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /1.83 = 12.0 IN/HR10"-48" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 15% GRAVEL, 10% COBBLES, 5% STONES 48"-146" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND. 15% GRAVEL 15% COBBLES, 10% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 10". PERCOLATION TEST 120A DEPTH OF TEST = 60" BOTTOM WIDTH = 8" PERCOLATION RATE (PM) = 3.25 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /3.25 = 6.77 IN/HR12"-56" REDDISH BROWN (5YR 4/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 56"-144" YELLOWSH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 15% GRAVEL, 15% COBBLES, 10% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 12". PERCOLATION TEST 121A DEPTH OF TEST = 60" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 2.75 MIN/INCH PERMEABILITY RATE K = A / PM = 22 / 2.75 = 8.00 IN/HRSOIL LOG #122 0"-6" TOPSOIL (MEADOW GRASS COVER) 6"-30" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE LOAM, "-96" REDDISH YELLOW(5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES 96"-120" STRONG BROWN (7.5YR 5/6), LOOSE, SINGLE GRAIN, LOAMY SAND 20% GRAVEL, 20% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. SOIL PERMEABILITY CLASS RATING TESTS 122A & 122B DEPTH OF SAMPLE=84" SOIL PERMEABILITY CLASS RATING= K5 SOIL LOG #123 0"-6" TOPSOIL (MEADOW GRASS COVER) 6"-36" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE LOAM, 10% GRAVEL, 10% COBBLES 36"-104" REDDISH YELLOW(5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES 104"-126" STRONG BROWN (7.5YR 5/6), LOOSE, SINGLE GRAIN, LOAMY SAND 20% GRAVEL, 20% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS. SOIL PERMEABILITY CLASS RATING TESTS 123A & 123B DEPTH OF SAMPLE=84" SOIL PERMEABILITY CLASS RATING= K4 SOIL LOG #124 0"-6" TOPSOIL (MEADOW GRASS COVER) 6"-36" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE LOAM, 10% GRAVEL, 10% COBBLES -96" REDDISH YELLOW(5YR 6/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 10% COBBLES, 10% STONES 96"-124" STRONG BROWN (7.5YR 5/6), LOOSE, SINGLE GRAIN, LOAMY SAND 20% GRAVEL, 20% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. NO OBVIOUS ROOTS.

SOIL LOG #125 0"-14" TOPSOIL 14"-60" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES, 5% STONES 60"-124" STRONG BROWN (7.5YR 5/8), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 10% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 20" (MEADOW). 16"-64" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES, 5% STONES 64"-132" STRONG BROWN (7.5YR 5/8), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 16" (MEADOW). 10"-36" BROWN (7.5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES 36"-62" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL 5% CORRLES 5% STONES 62"-198" STRONG BROWN (7.5YR 5/8), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 12" (MEADOW). PERCOLATION TEST 128A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PERCOLATION RATE (PM) = 2 MIN/INCHPERMEABILITY RATE K = A / PM = 22 / 2 = 11 IN/HRSOIL LOG #129 0"-12" TOPSOIL 12"-54" BROWN (7.5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES, 10% STONES 34"-60" STRONG BROWN (7.5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES, 5% STONES 60"-200" STRONG BROWN (7.5YR 5/8), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 10% GRAVEL, 5% COBBLES, 5% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 12" (MEADOW). PERCOLATION TEST 129A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 2.25 MIN/INCH PERMEABILITY RATE K = A / PM = 22 / 2.25 = 9.8 IN/HR 8"-68" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 15% GRAVEL, 5% COBBLES 68"-200" REDDISH BROWN (5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, LOAMY SAND, 15% GRAVEL 5% CORRLES 5% STONES NO GROUNDWATER. NO MOTTLES. ROOTS TO 42". PERCOLATION TEST 136A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PERCOLATION RATE (PM) = 2.5 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /2.5 = 8.8 IN/HR6"-60" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY CLAY LOAM, 15% GRAVEL, 5% COBBLES 60"-124" REDDISH BROWN (5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES, 5% STONES HOLE COLLAPSING AT 124". SEEPAGE AT 102". NO MOTTLES. ROOTS TO 96". 2 HOUR WATER READING AT 92". PERCOLATION TEST 137A DEPTH OF TEST = 78" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 1.66 MIN/INCH PERMEABILITY RATE K = A / PM = 22 / 1.66 = 13.3 IN/HR8"-52" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY CLAY LOAM, 15% GRAYEL, 5% COBBLES 52"-120" REDDISH BROWN (5YR 5/4), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES, 5% STONES HOLE COLLAPSING AT 120". SEEPAGE AT 96". NO MOTTLES. ROOTS TO 86". 2 HOUR WATER READING AT 88". PERCOLATION TEST 138A DEPTH OF TEST = 78" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 1.5 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /1.5 = 14.7 IN/HRSOIL LOG #139 0"-8" TOPSOIL 8"-54" YELLOWISH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES 54"-148" REDDISH BROWN (5YR 5/4), SINGLE GRAIN, LOOSE, SAND, NO GROUND WATER, MOTTLES COMMON, COARSE, DISTINCT 96"-148", ROOTS TO 36". PERCOLATION TEST 139A DEPTH OF TEST = 78'BOTTOM WIDTH = 8"PARAMETER A' = 22PERCOLATION RATE (PM) = 1.5 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /1.5 = 14.7 IN/HR6"-60" YELLOWSH RED (5YR 5/6), SUBANGULAR BLOCKY, FRIABLE, SANDY LOAM, 10% GRAVEL, 5% COBBLES 60"-152" REDDISH BROWN (5YR 5/4), SINGLE GRAIN, LOOSE, SAND, 10% GRAVEL, 5% COBBLES NO GROUND WATER. MOTTLES COMMON, COARSE, DISTINCT 100"-152". ROOTS TO 48". PERCOLATION TEST 140A DEPTH OF TEST = 96" BOTTOM WIDTH = 8" PARAMETER A' = 22PERCOLATION RATE (PM) = 1.66 MIN/INCH PERMEABILITY RATE K = A / PM = 22 /1.66 = 13.3 IN/HRDATES OF TESTING: APRIL 19, 2022 to APRIL 30, 2022

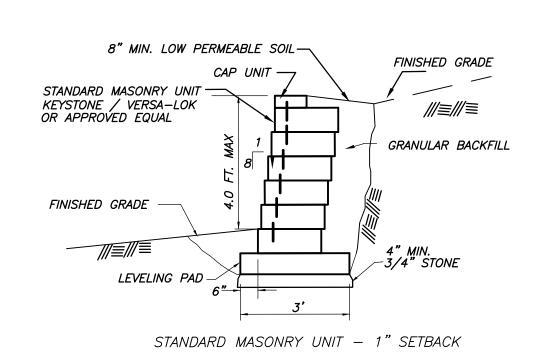
Civil Engineers & Land Surveyors YANNACCONE & ALDRICH, LLC 460 MAIN STREET, P.O. BOX 459 CHESTER, NEW JERSEY 07930 PHONE: 908-879-6646 FAX: 908-879-8591 N.J. STATE BOARD OF P.E. & L.S. CERTIFICATION OF AUTHORIZATION No. 24GA27934500 CANDICE J. DAVIS N.J. PROFESSIONAL ENGINEEF NO **24GE04527000** DATE **11/16/22** NOT VALID WITHOUT SIGNATURE AND RAISED SEA 2 11/16/22 REISSUE 1 10/04/22 REISSUE DATE REVISION PROJECT TITLE: LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS EXMOOR DRIVE & SUTTON PLACE LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147 TAX MAP SHEET 33 TOWNSHIP OF MENDHAM MORRIS COUNTY. NEW JERSEY LOT 2 ~ BLOCK 8 TAX MAP SHEET 8 BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY SOIL LOG DATA SHEET

DRAWN BY:	DATE:
GY/JPW	SEPTEMBER 2, 20
CHECKED BY:	SCALE:
GY/CJD	AS SHOWN
W.0. 222040	

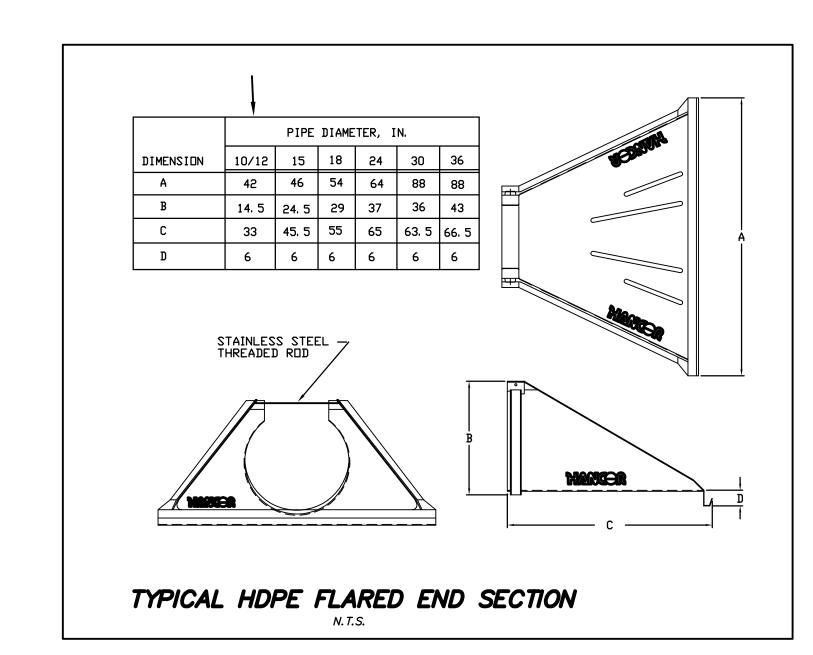
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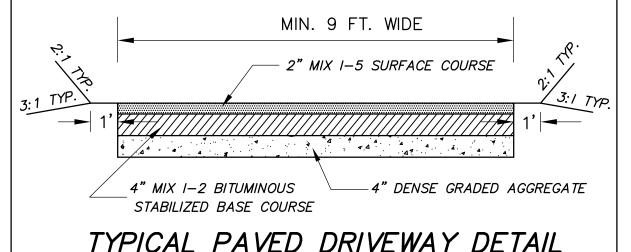
FILE PATH: M:\SEPTIC\DATA\222000\222040 **PLANNINGBOARD** FILE NAME: PB-02-0000-REV2.DWG

SHEET **12** OF **15**



TYPICAL MASONRY RETAINING WALL (OR APPROVED EQUAL)



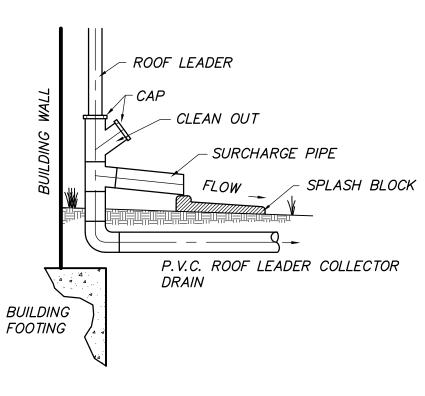


TYPICAL PAVED DRIVEWAY DETAIL

NOT TO SCALE

Driveway Notes:

- 1. All driveways shall have a minimum width of nine (9) ft.
- 2. All driveways shall be constructed in such a manner that the driveways will not interfere with the drainage along the existing pavement or travelled way. Runoff from a driveway shall not discharge on the travelled way.
- 3. All driveways shall be designed to comply with the Mendham Township ordinance. Driveway designs shall be submitted to Mendham Township as part of individual Lot Grading applications at the time of construction.



INSTALL HANDLE TO WITHIN 6—12 INCHES OF LID
TO FACILITATE FUTURE MAINTENANCE

ROOF LEADER OVERFLOW & CLEANOUT DETAIL NOT TO SCALE

COMPARTMENT SEPTIC TANKS

NOTE: CONTRACTOR MAY USE 6" DIAMETER FILTER IN LIEU OF 8" FILTER WITH PRIOR APPROVAL.

INSTALL POLYLOK FILTER

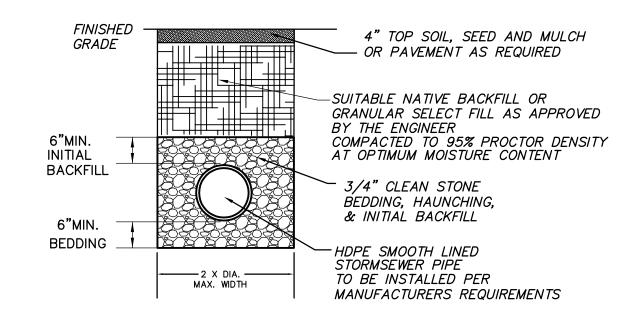
– A 100 8x26 VC OR APPROVED EQUAL



460 MAIN STREET, P.O. BOX 459 CHESTER, NEW JERSEY 07930 PHONE: 908-879-6646 FAX: 908-879-8591 N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE
OF AUTHORIZATION No. 24GA27934500

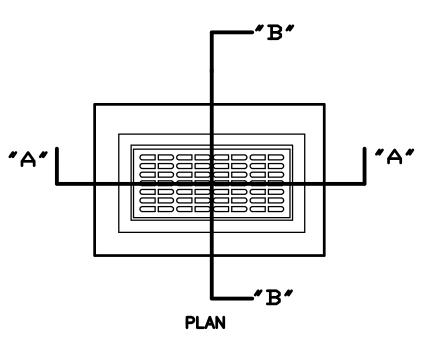


N.J. PROFESSIONAL ENGINEER NO. 24GE04527000 DATE 11/16/22



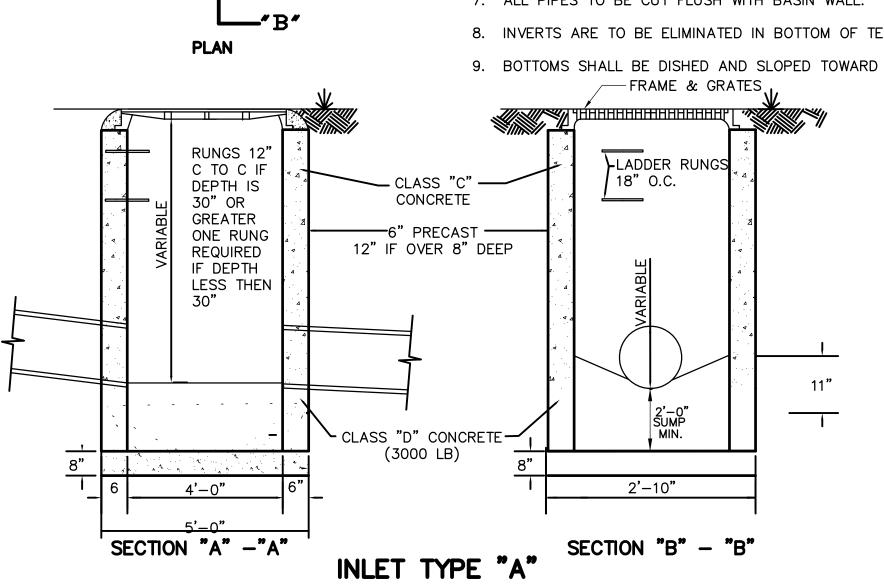
NOTE: ALL HDPE STORMSEWER PIPE SHALL HAVE SMOOTH INTERIOR LINING.

HDPE STORMWATER PIPE TRENCH DETAIL NOT TO SCALE



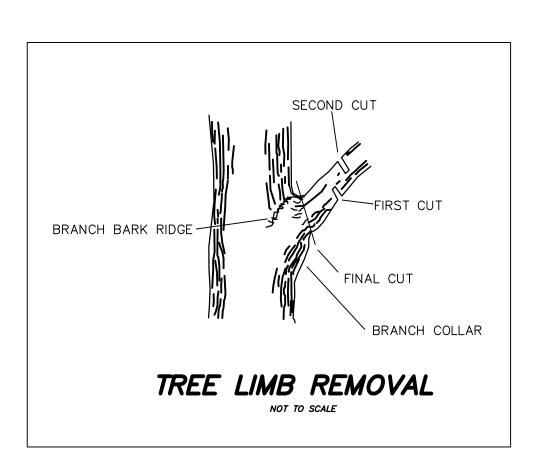
NOTE:

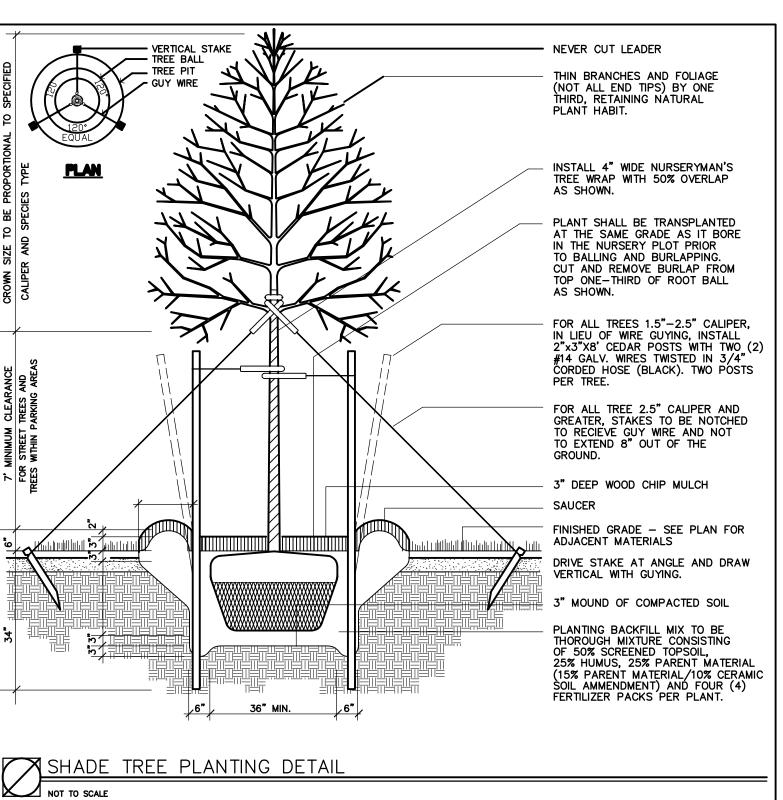
- 1. UNIT SHALL BE CONSTRUCTED OF PRECAST CONCRETE
- 2. CHANNELS TO BE CLASS "C" CONCRETE.
- 3. FRAME AND GRATE TO BE No. 3405 AS MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL.
- 4. PROVIDE 3/4" DIA. ALUMINUM LADDER RUNGS 12" O.C.
- 5. PRECAST UNIT SHALL BE DESIGNED TO AASHTO H-20 LOADINGS.
- 6. WALLS OVER 8 FT. DEEP SHALL BE 12" THICK.
- 7. ALL PIPES TO BE CUT FLUSH WITH BASIN WALL.
- 8. INVERTS ARE TO BE ELIMINATED IN BOTTOM OF TERMINAL INLET.
- 9. BOTTOMS SHALL BE DISHED AND SLOPED TOWARD THE OUTLET.

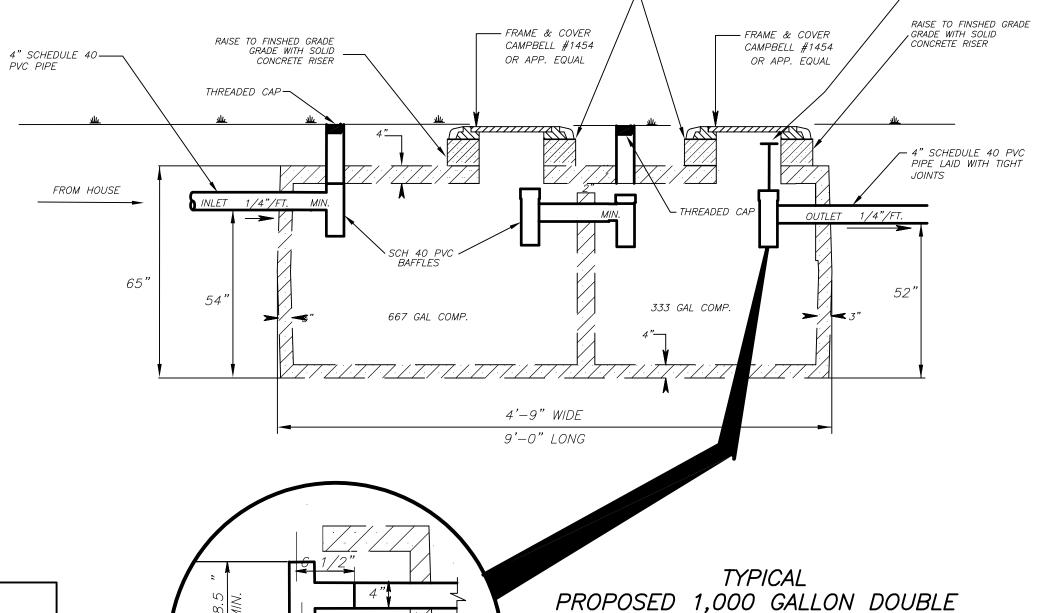


NOT TO SCALE

NOTE: SEE STORMWATER MANAGEMENT REPORT FOR LOT-SPECIFIC ELEVATIONS RELATED TO THE STORMWATER DESIGNS AS PRESENTED.

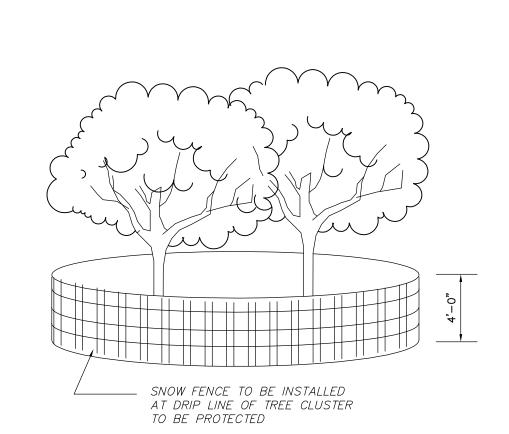






BUTYL TAPE GASKET REQUIRED UNDER MANHOLE -

TANKS SHOWN ARE FROM PEERLESS PRECAST CONCRETE (973.838.3060) USE THESE TANKS OR APPROVED EQUAL



TREE PROTECTION DETAIL

N	OT VALID Y	WITHOUT	SIGNATURE	AND	RAISED	SEA
2	11/16/2	22 PI	ER PLAN.B	D.MT	G.10/19	3/22
1	10/04/	22	REISSUE			
NO.	DATE		REVISION			
Ы		ITIE ·				

PROJECT TITLE

LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS EXMOOR DRIVE & SUTTON PLACE LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147 TAX MAP SHEET 33 TOWNSHIP OF MENDHAM

MORRIS COUNTY, NEW JERSEY LOT 2 ~ BLOCK 8 TAX MAP SHEET 8 BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE :

CONSTRUCTION DETAIL SHEET

DRAWN BY:	DATE:
CJD	SEPTEMBER 2, 2022
CHECKED BY:	SCALE:

W.O. 222040

F.B. ----

COMP FILE: M:SEPTIC/.../222040/PLANNINGBOARD/ PB-details-rev2.dwg

SHEET 13 OF 15

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE PLACE PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- 2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (ie. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER.)
- 3. PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
- 4. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING. ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- 5. TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE SE&SC STANDARDS.
- 6. PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- 7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- 8. ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- 9. STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE
- 10. A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- 11. ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- 12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 13. BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- 14. ALL DEWATERING OPERATIONS MUST DISCHARGED DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE SE&SC STANDARDS.
- 15. ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN-OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- 16. DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL PRECLUDE WHEN COMPLETED WORK IS APPROVED BY THE TOWNSHIP ENGINEER.
- 17. ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- 18. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- 19. THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
- 20. TOPSOIL STOCKPILE PROTECTION
 - a. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF. b. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
- APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F. AND
- ANNUAL RYEGRASS AT 1 LB. PER 1000 S.F. d. MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F. e. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS
 - a. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF.
 - b. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
- c. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 S.F.
- d. MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS. /1000 S.F. e. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS
 - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED)
 - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF. AND WORK FOUR INCHES INTO SOIL.

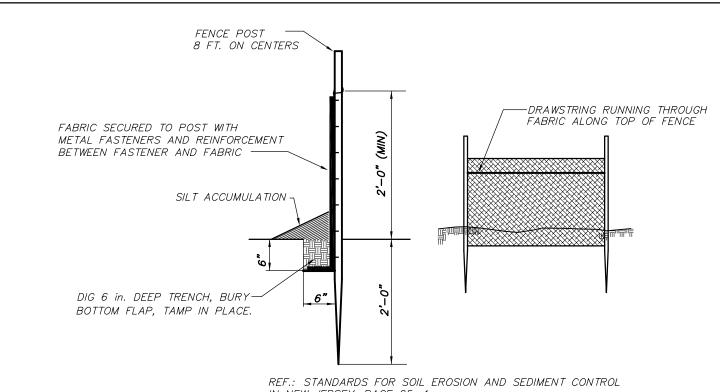
 APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY HARD FESCUE SEED AT 2.7 LBS./1000 S.F. AND CREEPING RED FESCUE SEED AT 0.7 LBS./1000 S.F. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS./1000 S.F.
 - MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

DUST CONTROL NOTES

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- 1. MULCH SEE STANDARD OF STABILIZATION WITH MULCHES ONLY (SE&SC IN NJ, #5, JULY 1999)
- VEGETATIVE COVER SEE STANDARD FOR : TEMPORARY VEGETATIVE COVER (SE&SC IN NJ, #7, JULY 1999), AND PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (SE&SC IN NJ, #4, JULY 1999) AND PERMANENT STABILIZATION WITH SOD (SE&SC IN NJ, #6, JULY 1999).
- SPRAY-ON ADHESIVES ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. SEE SE&SC IN NJ, #16, JULY 1999, FOR DUST CONTROL ADHESIVES.
- TILLAGE TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE BEFORE SOIL BLOWING STARTS. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING—TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- 7. CALCIUM CHLORIDE SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

TYPICAL SEQUENCE OF CONSTRUCTION: INDIVIDUAL LOTS

- NOTIFY MUNICIPAL ENGINEER, MORRIS COUNTY SOIL CONSERVATION DISTRICT AND HEALTH DEPARTMENT IN WRITING 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 2. INSTALL STABILIZED CONSTRUCTION AND SILT FENCE ALONG LIMIT OF DISTURBANCE LINES AS INDICATED.
- TREE REMOVAL, CLEARING AND STRIPPING OF DISTURBED AREAS. ... STOCKPILE TOPSOIL. INSTALL SILT FENCE BARRIER PROTECTION AROUND STORMWATER MANAGEMENT BMP AREAS (ie. typical Bioretention Basin) TO PREVENT SOIL COMPACTION. ROUGH GRADE SITE.
- .6 months 4. CONSTRUCTION OF DWELLING w/ UTILITY CONNECTIONS. week 5. INSTALL STORMWATER MANAGEMENT MEASURES & SEPTIC SYSTEMS
- 6. FINE GRADING. SCARIFY SUBGRADE SOILS TO A DEPTH OF 6" PRIOR TO THE APPLICATION OF TOPSOIL. SOIL DE-COMPACTION
- MEASURES, IF NECESSARY. ADD TOPSOIL, MULCH & SEED. .2 days 7. INSTALL DRIVEWAY FINAL COURSE.
- 8. REMOVE SILT FENCE & SESC MEASURES WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED.



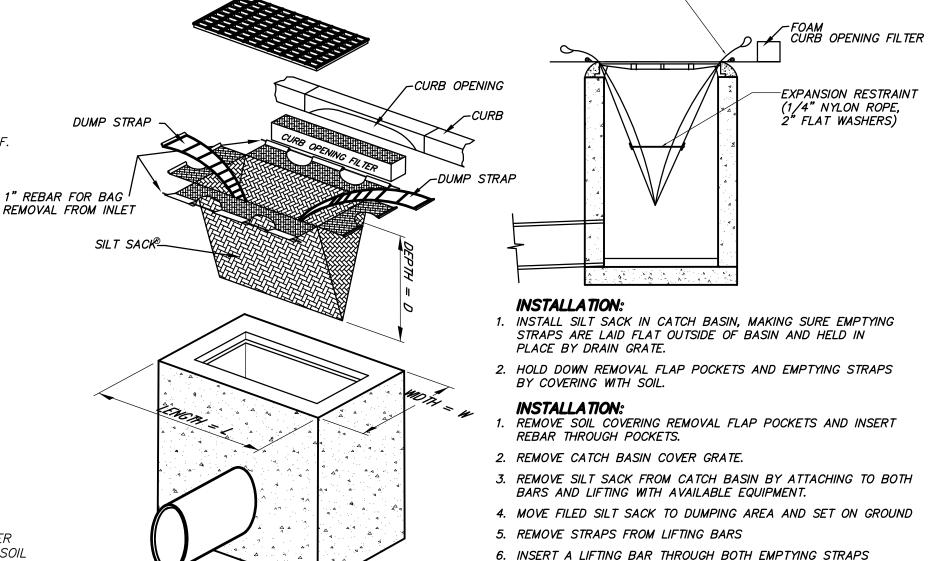
REQUIREMENTS FOR SILT FENCE:

- (1.) FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.
- (2.) A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED. IT MUST BE FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
- (3.) A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.). PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP

SILT FENCE DETAIL

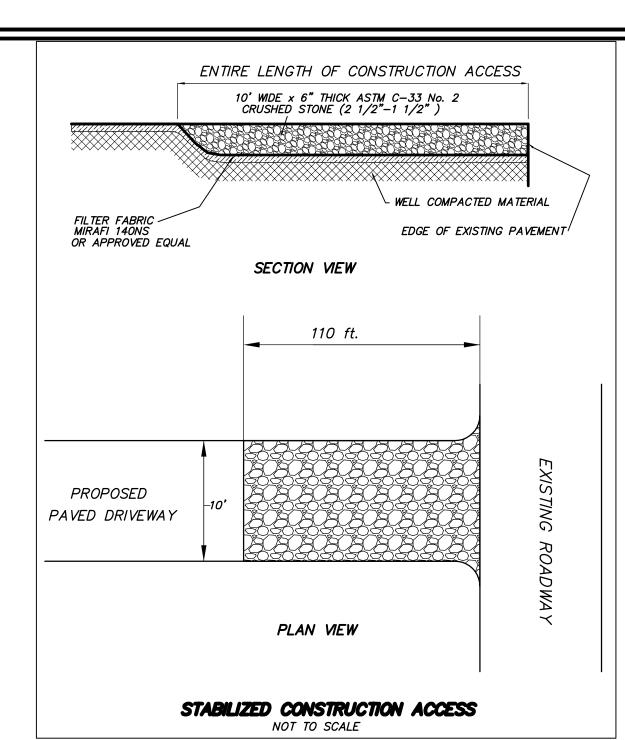
— 2 EACH DUMP STRAPS

7. LIFT WITH AVAILABLE EQUIPMENT WITH EMPTYING STRAPS



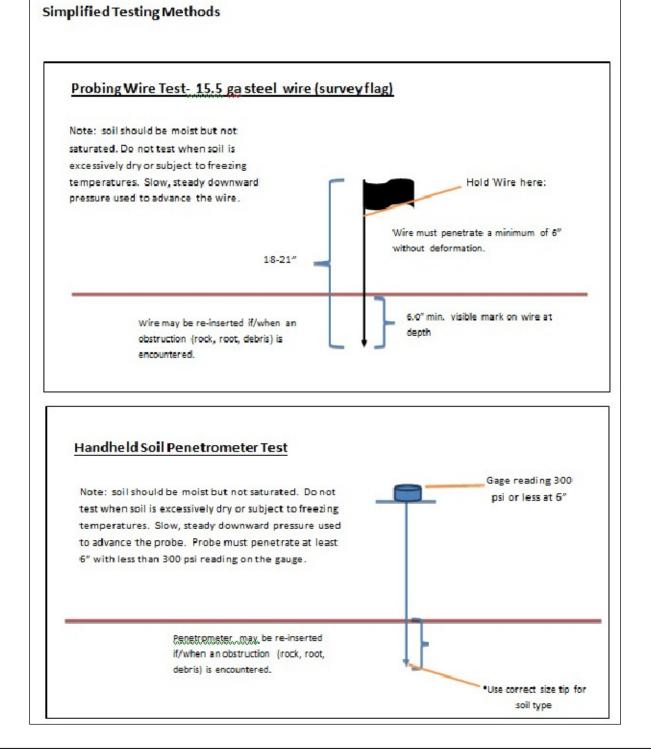
CATALOG NUMBER - SILTO2X04 ACF ENVIRONMENTAL-2831 CARDWELL ROAD-RICHMOND, VIRGINIA 23234-(800) 448-3636

INLET PROTECTION SILT FILTERING SYSTEM



LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED				
	COARSE GRAINED SOILS	FINE GRAINED SOILS			
0 TO 2%	50 FT.	100 FT.			
2 TO 5%	100 FT.	200 FT.			
>5%	ENTIRE SURFACE STABILIZ	ZED WITH FABC BASE COARSE			



Procedures for Soil De-Compaction

Procedures shall be used to mitigate excessive soil compaction prior to the placement of topsoil and the establishment of permanent vegetative cover.

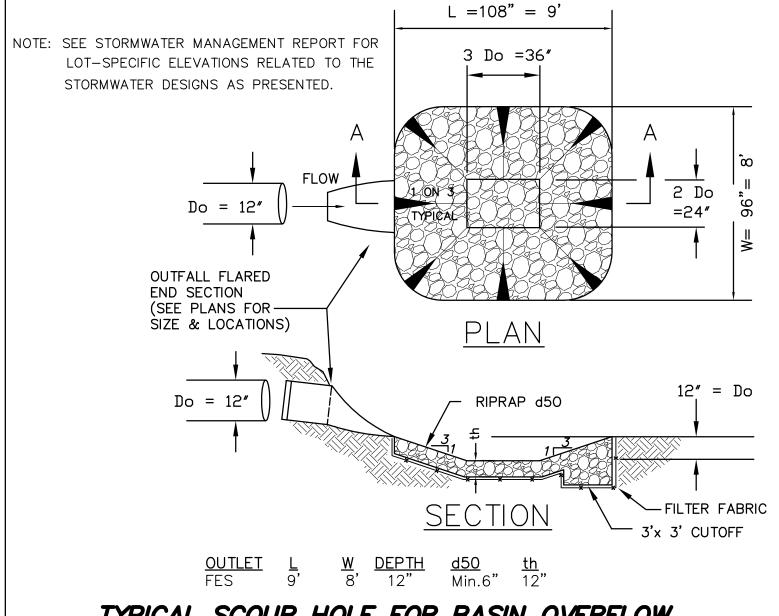
Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer may be substituted with any required testing subject to District Approval.

LEGEND

F F F SOIL COMPACTION RESTORATION/

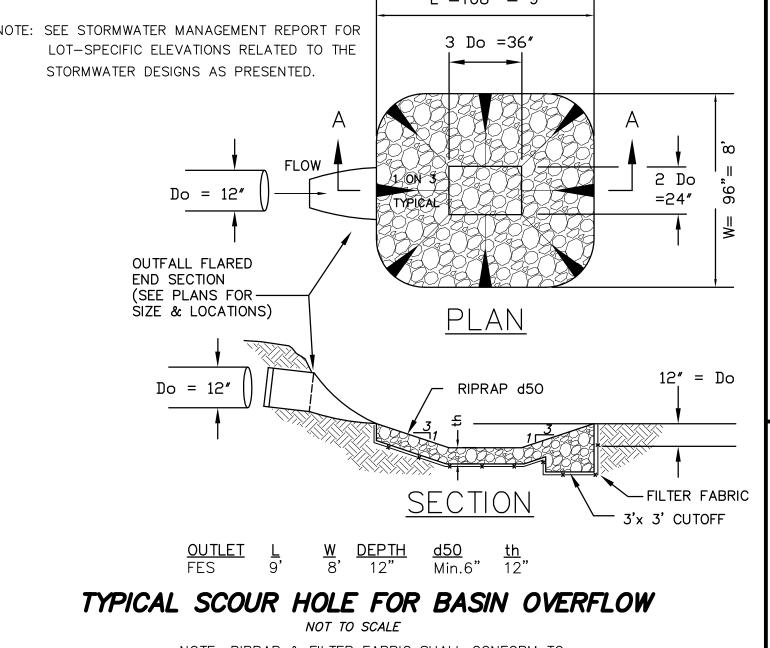
> RECOMMENDED SOIL TEST (APPROX. 1 PER/.5 AC.)

Testing not required within 20 ft. Area around Foundation w/ Basement or 12 ft. Area around Foundation w/ Crawl space or Slab.



NOTE: RIPRAP & FILTER FABRIC SHALL CONFORM TO THE STANDARD FOR RIPRAP IN THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY"

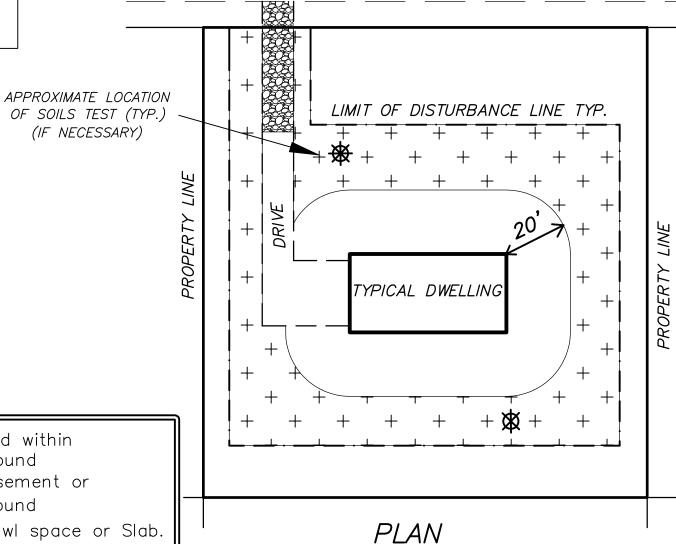
- FENCE POSTS MAX. 8'-0" O.C. -



2 1/2" DIAMETER GALVANIZED EXISTING GRADE-OR ALUMINUM POSTS 2 1/2" DIAMETER GALVANIZED OR ALUMINUM POSTS CHAIN LINK FENCING FILTER CLOTH 33" MIN. POST AND 2ND LAYER FILTER CLOTH -EXISTING GROUND FLOW EMBED FILTER CLOTH SUPER SILT FENCE

TYPICAL SOIL DE-COMPACTION METHOD

NOT TO SCALE



not to scale

YANNACCONE & ALDRICH, LLC

460 MAIN STREET, P.O. BOX 459 CHESTER, NEW JERSEY 07930 PHONE: 908-879-6646 FAX: 908-879-8591 N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE
OF AUTHORIZATION No. 24GA27934500



CANDICE J. DAVIS N.J. PROFESSIONAL ENGINEER

- CHAIN LINK FENCE WITH ONE

LAYER OF FILTER CLOTH

NO. 24GE04527000 DATE 11/16/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEA

11/16/22 PER PLAN.BD.MTG.10/19/22 10/04/22 REISSUE DATE REVISION

PROJECT TITLE : **LAWRENCE** FARM ESTATES MAJOR SUBDIVISION PLANS EXMOOR DRIVE & SUTTON PLACE LOTS 42.06, 42.07, 42.08 &

LOTS 42.12, 42.13, 42.16 ~ BLOCK 147 TAX MAP SHEET 33 TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY LOT 2 ~ BLOCK 8 TAX MAP SHEET 8 BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

TYPICAL SOIL EROSION & SEDIMENT CONTROL DETAIL SHEET

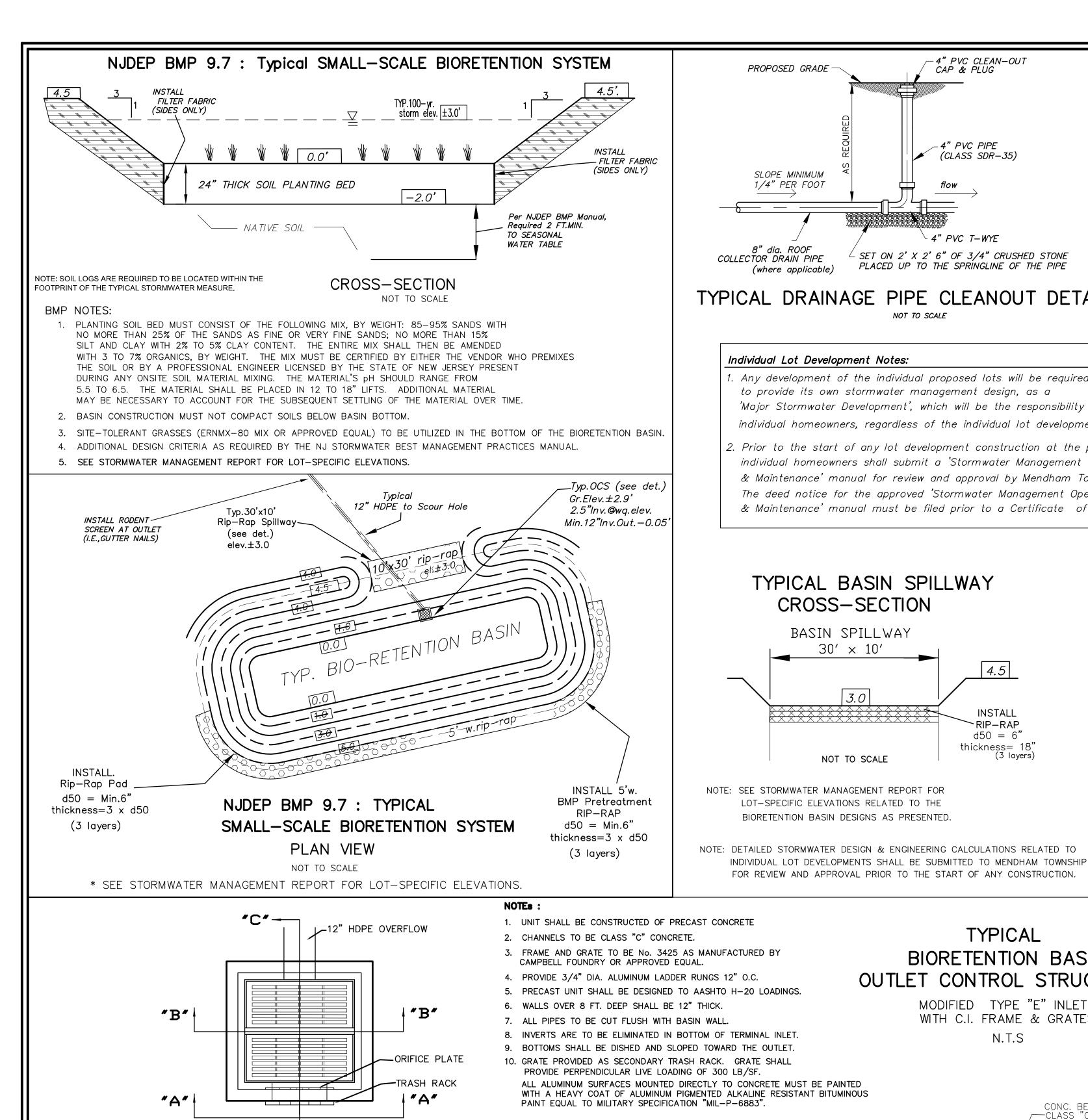
DRAWN BY: CJDSEPTEMBER 2, 2022 CHECKED BY: SCALE: AS SHOWN GY/CJD

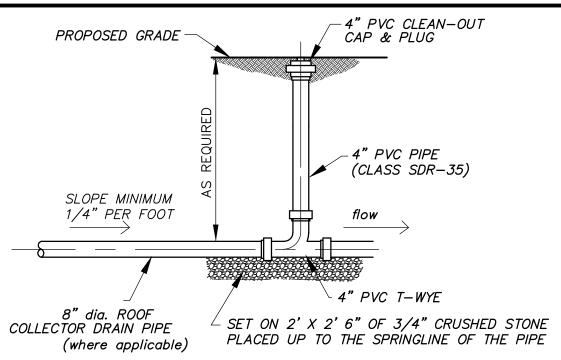
W.O. 222040

F.B. ----

COMP FILE: M:SEPTIC/.../222040/PLANNINGBOARD/ PB-details-rev2.dwg

SHEET 14 OF 15





TYPICAL DRAINAGE PIPE CLEANOUT DETAIL NOT TO SCALE

Individual Lot Development Notes:

CROSS-SECTION

BASIN SPILLWAY

 $30' \times 10'$

NOT TO SCALE

- . Any development of the individual proposed lots will be required to provide its own stormwater management design, as a 'Major Stormwater Development', which will be the responsibility of the individual homeowners, regardless of the individual lot development size.
- 2. Prior to the start of any lot development construction at the proposed lots, individual homeowners shall submit a 'Stormwater Management Operations & Maintenance' manual for review and approval by Mendham Township. The deed notice for the approved 'Stormwater Management Operations & Maintenance' manual must be filed prior to a Certificate of Occupancy.

4.5

INSTALL

RIP-RAP

d50 = 6" thickness= 18'

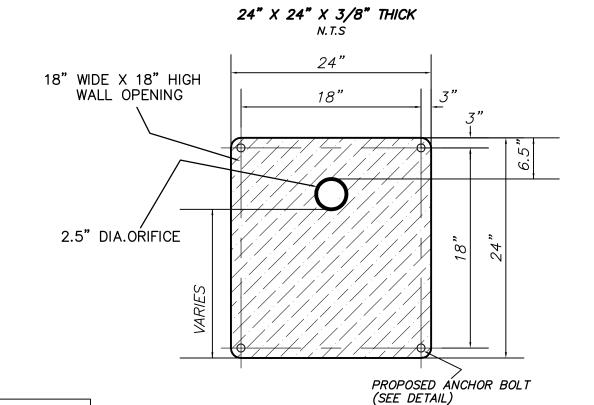
POSTS @ 6' O.C. MAX. SPLIT WOOD RAIL WITH TAPERED ENDS EXISTING GRADE POSTS TO BE SET WITHOUT 36" USE OF CONCRETE TYPICAL POST AND RAIL FENCE DETAIL (SPLIT RAIL FENCE Surrounding Basin or Approved equal) NOTES:

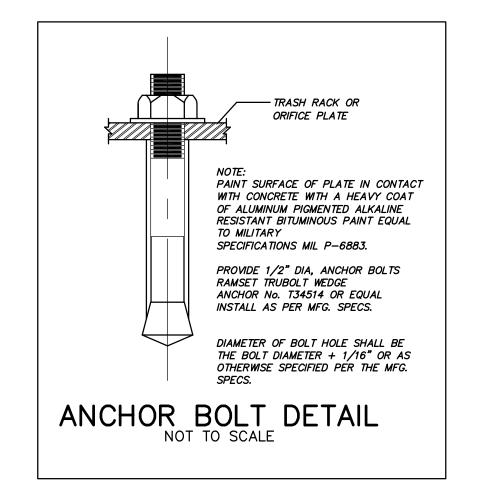
1) POST AND RAILS TO BE UNTREATED CEDAR OR PRESSURE TREATED PINE OR EQUIVALENT. 2) BACKFILL TO BE PLACED IN MAXIMUM 8" LIFTS AND COMPACTED TO 95 % OPTIMUM DENSITY.

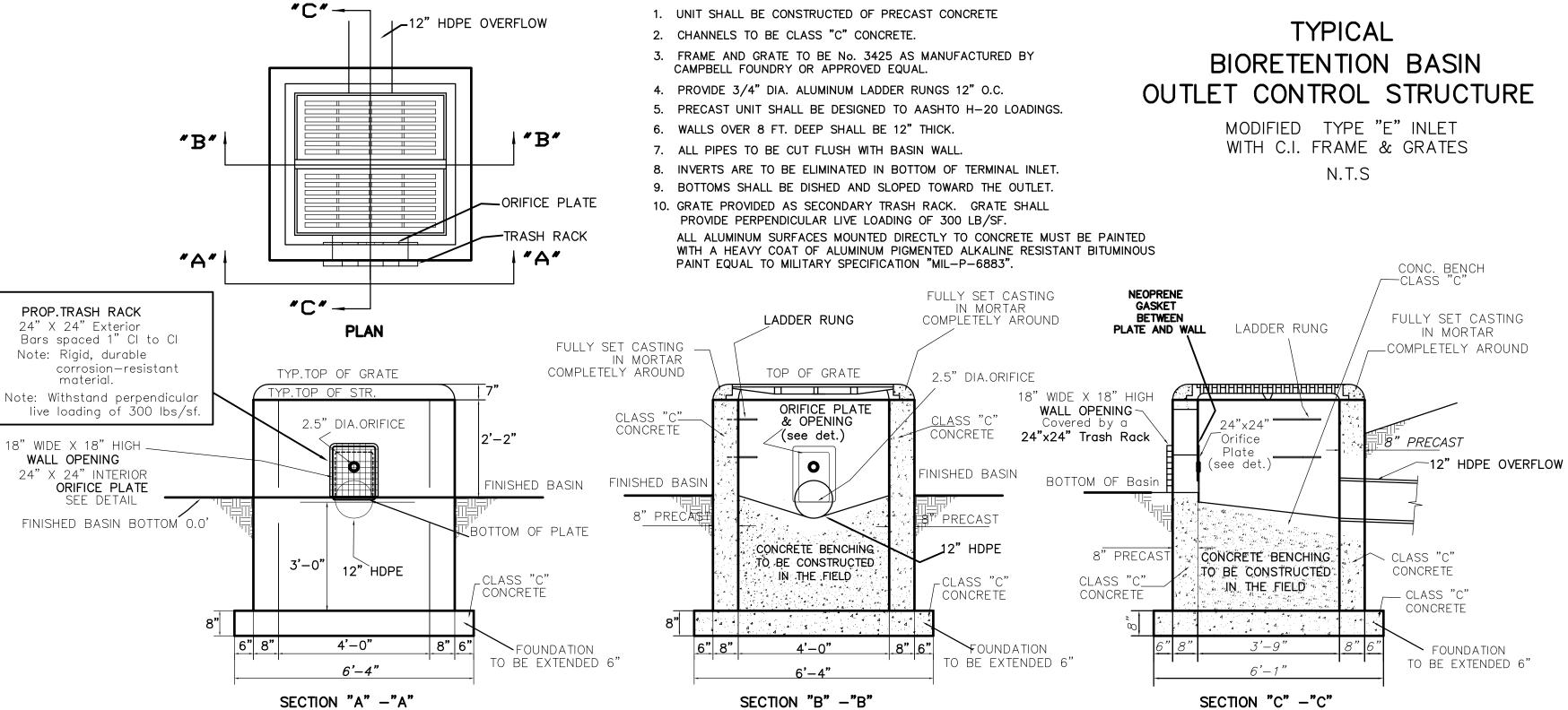
TYP. ORIFICE PLATE DIMENSIONS

ALUMINUM ORIFICE PLATE DETAILS

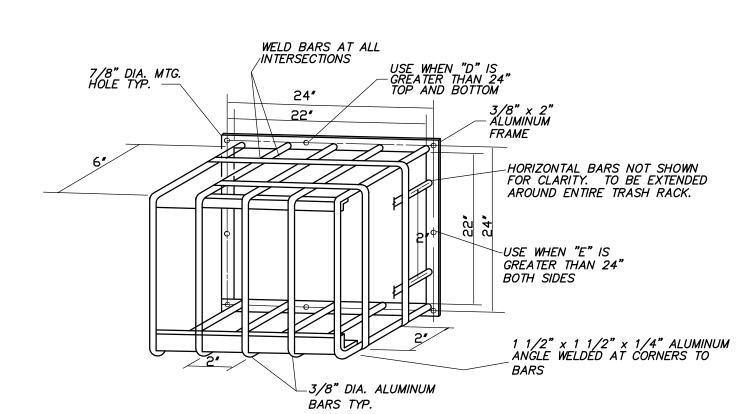
BASIN ORIFICE PLATE







* SEE STORMWATER MANAGEMENT REPORT FOR LOT-SPECIFIC ELEVATIONS.



TYPICAL ORIFICE TRASH RACK NOT TO SCALE

NOTE :

- 1. TRASH RACK SHALL BE DESIGNED TO HANDLE A PERPENDICULAR LIVE LOAD
- OF 300 LBS/FT.SQ. 2. ALL ALUMINUM SURFACES MOUNTED DIRECTLY TO CONCRETE MUST BE PAINTED WITH A HEAVY COAT OF ALUMINUM PIGMENTED ALKALINE RESISTANT BITUMINOUS PAINT EQUAL TO MILITARY SPECIFICATION
- 3. ALL TRASH RACKS AND FASTENERS MUST HAVE SUFFICIENT STRENGHT TO WITHSTAND ANTICIPATED LOADINGS.



YANNACCONE VILLA & ALDRICH, LLC

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N.J. PROFESSIONAL ENGINEER NO. 24GE04527000 DATE 11/16/22

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TYPICAL STORMWATER MANAGEMENT DETAIL SHEET

DRAWN BY: DATE: SEPTEMBER 2, 2022 CJDCHECKED BY: SCALE: AS SHOWN GY/CJD

W.O. 222040

F.B. ----

COMP FILE: M:SEPTIC/.../222040/PLANNINGBOARD/ PB-details-rev2.dwg

SHEET **15** OF **15**