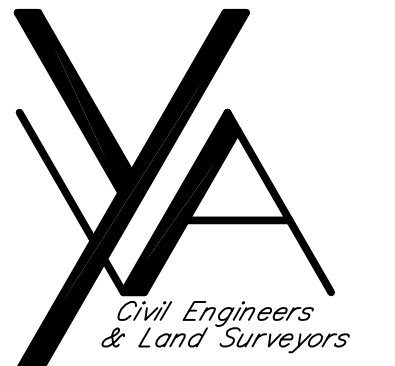


# "LAWRENCE FARM ESTATES" PRELIMINARY & FINAL MAJOR SUBDIVISION EXMOOR DRIVE & SUTTON PLACE

LOTS 42.06, 42.07, 42.08 &  
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TOWNSHIP OF MENDHAM, MORRIS COUNTY, NJ  
LOT 2 ~ BLOCK 8  
BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NJ



**YANNACCONE  
VILLA  
& ALDRICH, LLC**

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591

N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 2462A27934500

*Candice J. Davis*

**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24604527000 DATE 10/04/22

**PROPERTY OWNERS WITHIN 200' OF THE SUBJECT PROPERTIES**

TOWNSHIP OF MENDHAM, BLOCK 147, LOT 42.01, 42.02, 42.04, 42.05, 42.06, 42.07, 42.08,  
LOT 42.09, 42.10, 42.11, 42.12, 42.13, 42.16  
BASED ON CERTIFIED LIST PROVIDED BY THE TAX ASSESSOR OF THE TOWNSHIP OF MENDHAM, DATED AUGUST 24, 2022

BLOCK	LOT	LOT ADDRESS	OWNER AND ADDRESS
146	19	41 COREY LN	ZAMMATARO, FRANK & JEANNE, 41 COREY IN MENDHAM, NJ 07945
146	20	45 COREY LN	WEST, KENNETH W & KRISTINE, 45 COREY LN MENDHAM NJ 07945
147	2	52 HARDCRABBLE RD	MOREEN, JOSHUA D, 52 HARDCRABBLE RD MENDHAM TWP, NJ 07945
147	3	52 COREY LN	SAUNDERS, GREGORY B SECOND/LIZA, 52 COREY IN MENDHAM, NJ 07945
147	4	50 COREY LN	HERMUS, PETER S, 48 COREY LN MENDHAM, NJ 07945
147	5	48 COREY LN	HERMUS, PETER S, 48 COREY IN MENDHAM NJ 07945
147	6	46 COREY LN	CHRISTIE, CHRISTOPHER J/MARY PAT, 46 COREY IN MENDHAM, NJ 07945
147	8	42 COREY LN	LONGO, ROBERT J & MARTA K., 42 COREY LN, MENDHAM, NJ 07945
147	9	40 COREY LN	VAN ETEN, GLENN & KRISTIN, 40 COREY LN, MENDHAM, NJ 07945
147	10	38 COREY LN	CLEAR, ROBERT A & HELEN, 38 COREY IN MENDHAM NJ 07945
147	11	36 COREY LN	BYRNES, GERARD & PATRICIA, 36 COREY LN, MENDHAM, NJ 07945
147	15	67 TEMPE WICK RD	RIBACK, MITCHELL/DICKISON, KENNETH, 67 TEMPE WICK RD MENDHAM, NJ 07945
147	16	TEMPE WICK RD	MENDHAM TOWNSHIP, 2W MAIN ST, PO BOX 520 BROOKSIDE, NJ 07926
147	25	5 COBBLEFIELD DR	ACKERMAN, LAURA, 5 COBBLEFIELD DR MENDHAM, NJ 07945
147	30	15 COBBLEFIELD DR	PLIUTSINSKI, SERGEI/NATALIA, 15 COBBLEFIELD DR MENDHAM, NJ 07945
147	31	16 COBBLEFIELD DR	DAVID PULVER 2020 TRUST, 2711 RHONE DR PALM BEACH GARDENS, FL 33410
147	33	3 MANOR HILL DR	ELAVIA, KURUIS, 3 MANOR HILL DR MENDHAM, NJ 07945
147	34	4 MANOR HILL DR	MONAHAN, BRIAN W/SALLY I, 4 MANOR HILL DR MENDHAM, NJ 07945
147	38	73 BEVERLY DR	GREER, EDWARD/JEANNETTE G, 73 BEVERLY DR BERNARDSVILLE, NJ 07924
147	39	75 BEVERLY DR	LEMO, JASON R, C/O FREDCO, 315 HOME AVE., PASSAIC, NJ 07085
147	40	74 BEVERLY DR	SNOOK, RANDOLPH C & DEANN M, 74 BEVERLY DR., BERNARDSVILLE, NJ 07924
147	41	70 BEVERLY DR	MASTRANGELO, DENNIS/LYNN, 70 BEVERLY DR BERNARDSVILLE, NJ 07924
147	42.01	1 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.02	54 HARDCRABBLE RD	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.03	6 BLANK DR	SIDIROPOULOS, CHARALAMBOS/JENNIFER, 71 BEVERLY DR BERNARDSVILLE, NJ 07924
147	42.04	3 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.05	5 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.06	7 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.07	9 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.08	11 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.09	13 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.10	10 EXMOOR DR	10 EXMOOR DR, 10 EXMOOR DR MENDHAM, NJ 07945
147	42.11	18 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.12	6 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.13	4 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.14	2 EXMOOR DR	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.15	HARDCRABBLE RD	4 SUTTON PL EST LLC/MOHIN ABEDIN, 99 HUDSON ST. APT. 3006 JERSEY CITY, NJ 07302
147	42.16	3 SUTTON PL	LAWRENCE FARMLAND, L.L.C., 54 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	42.17	EXMOOR DR	SIDIROPOULOS, CHARALAMBOS/JENNIFER, 71 BEVERLY DR BERNARDSVILLE, NJ 07924
147	43	100 HARDCRABBLE RD	KEEBLER, HARRY W JR & THUM M., 361 HARDCRABBLE RD BERNARDSVILLE, NJ 07924
147	44	90 HARDCRABBLE RD	PADAVANG, KURT/JO ELLEN, 80 HARDCRABBLE BERNARDSVILLE, NJ 07924
147	45	80 HARDCRABBLE RD	PADAVANG, KURT, 80 HARDCRABBLE RD BERNARDSVILLE, NJ 07924

PSE&G P.O. BOX 490 GRANFORD, NJ 07016	JCP&L c/o FIRST ENERGY 76 SOUTH MAIN STREET AKRON, OH 44308	COMCAST ONE COMCAST CTR. PHILADELPHIA, PA 19103	VERIZON FIOS P.O. BOX 4830 TRENTON, NJ 08650-4830
SOUTHEAST MORRIS CTY MUA 19 SADDLE ROAD CEDAR KNOLLS, NJ 07927	MORRIS CTY MUNICIPAL UTILITIES AUTHORITY 2144 CENTER GROVE ROAD RANDOLPH, NJ 07869	NEW JERSEY AMERICAN WATER COMPANY 1025 LAUREL OAK RD VOORHEES, NJ 08043	

**BOROUGH OF BERNARDSVILLE, BLOCK 8, LOT 2**  
BASED ON CERTIFIED LIST PROVIDED BY THE TAX ASSESSOR OF THE BOROUGH OF BERNARDSVILLE, DATED AUGUST 11, 2022

BLOCK	LOT	LOT ADDRESS	OWNER AND ADDRESS
8	1	361 HARDCRABBLE RD.	KEEBLER, HARRY W JR & TRUDI M., 361 HARDCRABBLE RD. BERNARDSVILLE, NJ 07924
8	3.01	351 HARDCRABBLE RD.	YORK, LINDA M., 351 HARDCRABBLE ROAD BERNARDSVILLE, NJ 07924
8	3.02	26 BEVERLY DR.	PARSELLS, GEORGE H., 26 BEVERLY DR. BERNARDSVILLE, NJ 07924
8	3.03	52 BEVERLY DR.	CIPRIANO, MELISSA, 175 FAIRFIELD AVE, SUITES-4C/D WEST CALDWELL, NJ 07006
8	3.04	70 BEVERLY DR.	MASTRANGELO, DENNIS & LYNN, 70 BEVERLY DR. BERNARDSVILLE, NJ 07924

JOCKEY HOLLOW ROAD/HARDCRABBLE ROAD MENDHAM TOWNSHIP, 2 WEST MAIN STREET, BROOKSIDE, NJ 07926

PUBLIC SERVICE ELECTRIC AND GAS  
48 MIDDLE AVENUE  
SUMMIT, NJ 07901

VERIZON  
290 MT. PLEASANT AVENUE  
LIVINGSTON, NJ 07039

BOROUGH OF BERNARDSVILLE  
166 MINE BROOK ROAD  
BERNARDSVILLE, NJ 07924

**BOROUGH OF MENDHAM, BLOCK 147, LOT 42.02 & 42.14**  
BASED ON CERTIFIED LIST PROVIDED BY THE TAX ASSESSOR OF THE TOWNSHIP OF MENDHAM, DATED AUGUST 24, 2022

BLOCK	LOT	LOT ADDRESS	OWNER AND ADDRESS
2401	15	125 HARDCRABBLE RD	PETRUCCI, JAMES J & PATRICIA, 125 HARDCRABBLE ROAD, MENDHAM, NJ 07945
2401	16	111 HARDCRABBLE RD	DAVINO, ANTHONY, PO BOX 300 MENDHAM, NJ 07945
2401	17	77 HARDCRABBLE RD	KUTLU, HAKAN M & KIMBERLY A, 77 HARDCRABBLE RD MENDHAM, NJ 07945
2401	18	51 HARDCRABBLE RD	DUBIN, WAYNE S/LYNN A, 51 HARDCRABBLE RD MENDHAM, NJ 07945
2401	19	49 HARDCRABBLE RD	PRACHT, MARKUS J, 49 HARDCRABBLE RD MENDHAM, NJ 07945
2401	31	2 OAK FOREST LN	VEGA, TERESA MARY/MC TIGHE, ROBERT, 2 OAK FOREST LN MENDHAM, NJ 07945
2401	31.06	99 HARDCRABBLE RD	IRENE, SANDY/ANNE/LAWRENCE/ROBERT, 99 HARDCRABBLE RD MENDHAM, NJ 07945

JCP&L c/o FE SERV. TAX DEPT  
P.O. BOX 1911  
MORRISTOWN, NJ 07962-1911

PUBLIC SERVICE ELECTRIC & GAS Co.  
80 PARK PLAZA  
NEWARK, NJ 07102

MENDHAM BOROUGH SEWER UTILITY  
35 IRONIA ROAD  
MENDHAM, NJ 07945

APPROVED BY THE PLANNING BOARD OF  
THE TOWNSHIP OF MENDHAM ON \_\_\_\_\_

DATE

PLANNING BOARD CHAIRMAN \_\_\_\_\_

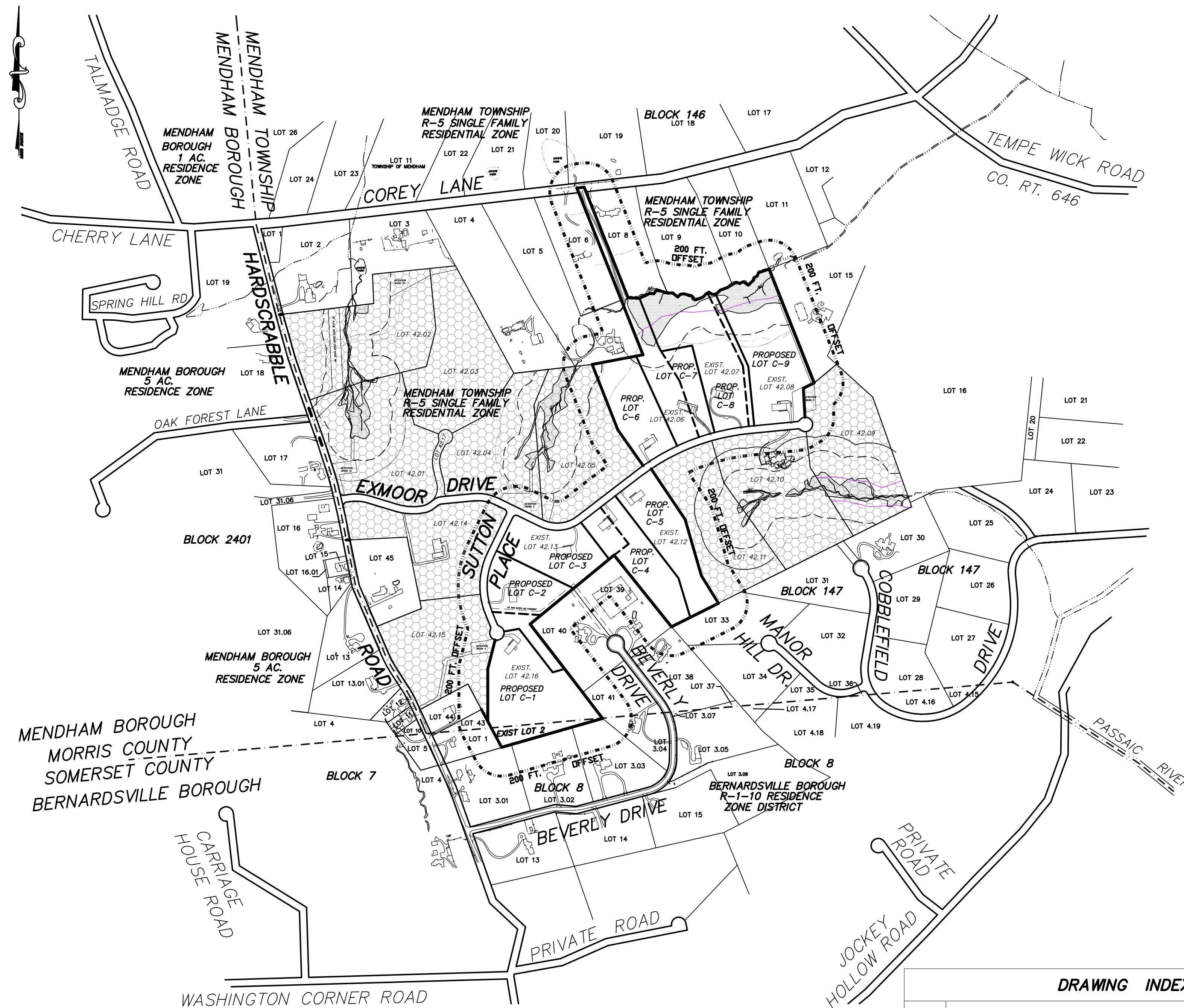
DATE

PLANNING BOARD SECRETARY \_\_\_\_\_

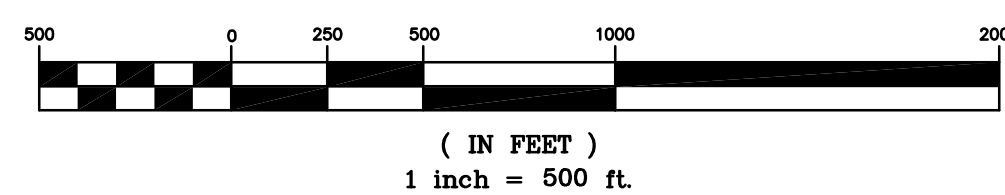
DATE

TOWNSHIP ENGINEER \_\_\_\_\_

DATE



**KEY MAP**  
GRAPHIC SCALE



**APPLICANT/OWNER**  
LAWRENCE FARMLAND, LLC  
54 HARDCRABBLE ROAD  
BERNARDSVILLE, NJ 07924  
908-246-0283

**ATTORNEY**  
THOMAS J. MALMAN, ESQ.  
C/O DAY PITNEY  
1 JEFFERSON ROAD  
PARSIPPANY, NJ, 07054  
973-966-8179

**CIVIL ENGINEER & SURVEYOR**  
CANDICE DAVIS, P.E.  
CHRISTOPHER J. ALDRICH, P.L.S.  
YANNACCONE, VILLA, & ALDRICH, LLC  
460 MAIN STREET  
P.O. BOX 459  
CHESTER, NJ 07930  
908-879-6646

**ENVIRONMENTAL CONSULTANT**  
DAVID C. KRUEGER  
ENVIRONMENTAL TECHNOLOGY, INC  
460 MAIN STREET  
P.O. BOX 50  
CHESTER, NJ 07930  
908-879-8509

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
1	10/04/22	PER PLN.BD.COMPLETE & NUDER

PROJECT TITLE :

**LAWRENCE FARM ESTATES**  
**MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 &  
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM  
MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE  
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE :

**TITLE SHEET**

DRAWN BY: DATE:

GY/JPW SEPTEMBER 2, 2022

CHECKED BY: SCALE:

GY/CJD 1" = 500'

W.O. 222040

F.B.

FILE:

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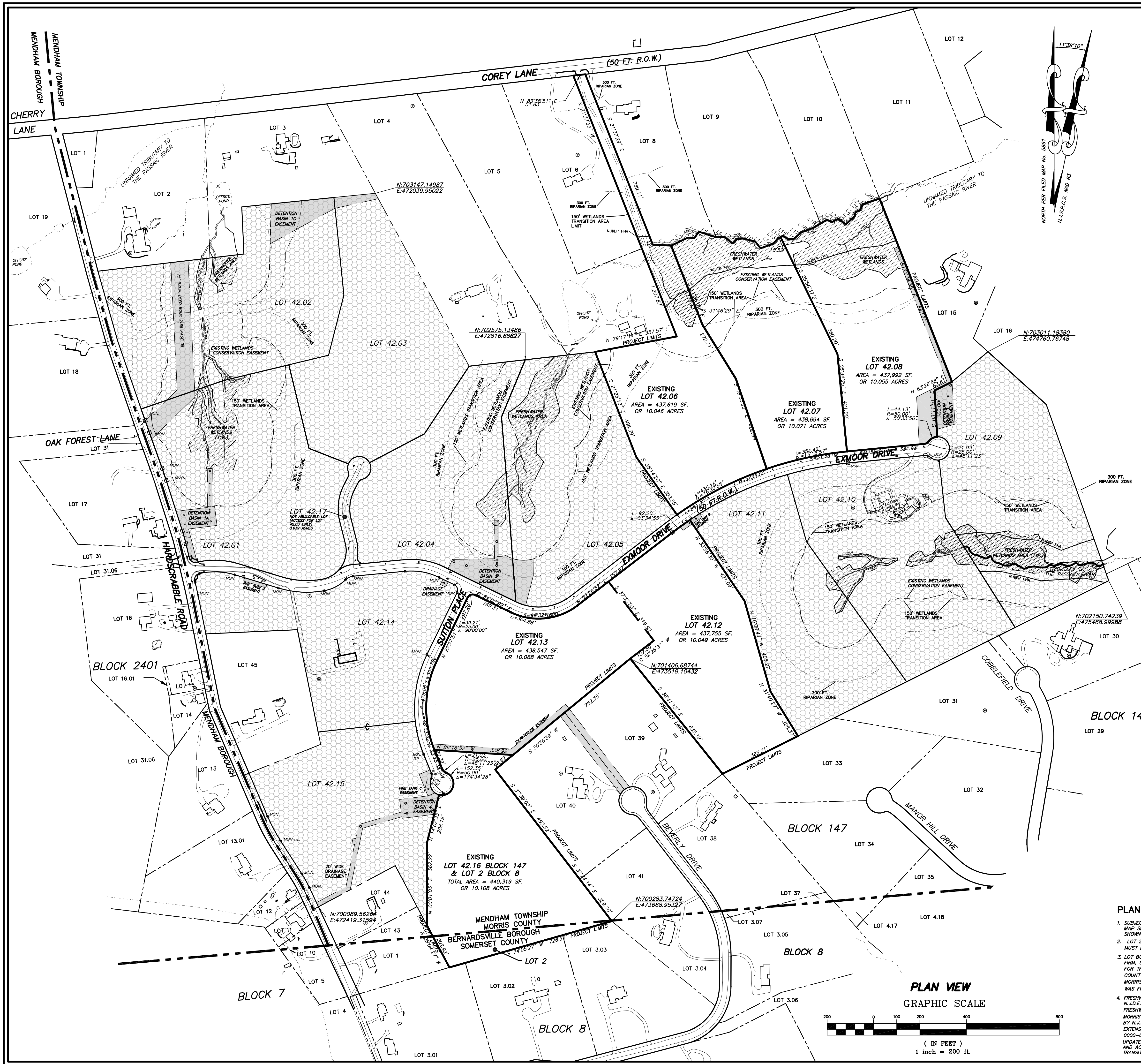
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SHEET 1 OF 15

**DRAWING INDEX**

SHEET	SHEET TITLE
1	TITLE SHEET
2	OVERALL EXISTING TRACT PLAN
3	ENVIRONMENTAL CONSTRAINTS PLAN - EXISTING LOTS 42.12, 42.13, 42.16 & 2
4	ENVIRONMENTAL CONSTRAINTS PLAN - EXISTING LOTS 42.06, 42.07, 42.08
5	MAJOR SUBDIVISION PLAN
6	GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - Proposed Lots C-1, C-2, C-3, C-4, C-5
7	GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - Proposed Lots C-6, C-7, C-8, C-9
8	SLOPE ANALYSIS PLAN - Proposed Lots C-1, C-2, C-3, C-4, C-5
9	SLOPE ANALYSIS PLAN - Proposed Lots C-6, C-7, C-8, C-9
10	EXISTING LANDSCAPING INVENTORY PLAN - Proposed Lots C-1, C-2, C-3, C-4, C-5
11	EXISTING LANDSCAPING INVENTORY PLAN - Proposed Lots C-6, C-7, C-8, C-9
12	SOIL LOG DATA SHEET
13	TYPICAL CONSTRUCTION DETAIL SHEET
14	TYPICAL SOIL EROSION & SEDIMENT CONTROL DETAIL SHEET
15	TYPICAL STORMWATER MANAGEMENT DETAIL SHEET





**MENDHAM TOWNSHIP ZONING SCHEDULE**  
**R-5 SINGLE-FAMILY RESIDENTIAL ZONE : EXISTING LOTS**

ORDINANCE ITEM	REQUIRED MENDHAM TWP R-5 RESIDENTIAL ZONE	EXISTING LOT 42.06	EXISTING LOT 42.07	EXISTING LOT 42.08
MIN. LOT AREA	5.0 AC	10.046 AC	10.071 AC	10.055 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	165,160 SF	160,749 SF	146,302 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	165,160 SF	160,749 SF	146,302 SF
MIN. LOT FRONTAGE	100 FT	435.16 FT	354.42 FT	400.09 FT
MIN. LOT GEOMETRY CIRCLE (LGC)*	300 FT./375 FT. DIA	500 FT	400 FT	400 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	240 FT	240 FT	240 FT
MIN. SIDE YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT. / 90 FT.	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT./2.5 STORES	35 FT./2.5 STORES	35 FT./2.5 STORES	35 FT./2.5 STORES
MAX. FLOOR AREA=2600 SF*(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	18,678 SF	18,721 SF	18,693 SF
<b>ACCESSORY STRUCTURES</b>				
MIN. LOCATION FROM STREET	NO CLOSER THAN PRINCIPAL BLDG.			
MIN. SIDE YARD SETBACK **	50 FT. / 70 FT.	50 FT	50 FT	50 FT
MIN. REAR YARD SETBACK **	60 FT. / 80 FT.	60 FT	60 FT	60 FT
MAX. ACCESSORY BUILDING HEIGHT	30 FT	30 FT	30 FT	30 FT
MIN. DISTANCE FROM ANY BUILDING	10 FT	10 FT	10 FT	10 FT

\* WHEN A LOT FACES ON MORE THAN ONE STREET, THE REQUIRED DIAMETER OF L.G.C. SHALL BE INCREASED BY 25%  
 \*\* IN THE R-5 ZONE THE MINIMUM SETBACKS OF STRUCTURES WITH HEIGHTS OVER TWENTY (20) FEET SHALL BE INCREASED BY TWO (2) FEET, FOR EACH ONE (1) FOOT OF THE HEIGHT OF THE STRUCTURE IN EXCESS OF TWENTY (20) FEET. THE SECOND NUMBERS SHOWN ASSUME A MAXIMUM PRINCIPAL BUILDING 35 FEET HEIGHT OR A MAXIMUM 30 FEET ACCESSORY BUILDING HEIGHT.

**R-5 SINGLE-FAMILY RESIDENTIAL ZONE : EXISTING LOTS**

ORDINANCE ITEM	REQUIRED MENDHAM TWP R-5 RESIDENTIAL ZONE	EXISTING LOT 42.12	EXISTING LOT 42.13	EXISTING LOT 42.16/ LOT 2
MIN. LOT AREA	5.0 AC	10.049 AC	10.068 AC	10.108 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	217,485 SF	215,078 SF	217,250 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	217,485 SF	215,078 SF	217,250 SF
MIN. LOT FRONTAGE	100 FT	436.96 FT	1,378.48 FT	263.77 FT
MIN. LOT GEOMETRY CIRCLE (LGC)*	300 FT./375 FT. DIA	400 FT	500 FT	400 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	240 FT	240 FT	240 FT
MIN. SIDE YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT./90 FT.	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT./80 FT.	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT./2.5 STORES	35 FT./2.5 STORES	35 FT./2.5 STORES	35 FT./2.5 STORES
MAX. FLOOR AREA=2600 SF*(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	18,683 SF	18,716 SF	18,784 SF
<b>ACCESSORY STRUCTURES</b>				
MIN. LOCATION FROM STREET	NO CLOSER THAN PRINCIPAL BLDG.			
MIN. SIDE YARD SETBACK **	50 FT. / 70 FT.	50 FT	50 FT	50 FT
MIN. REAR YARD SETBACK **	60 FT. / 80 FT.	60 FT	60 FT	60 FT
MAX. ACCESSORY BUILDING HEIGHT	30 FT	30 FT	30 FT	30 FT
MIN. DISTANCE FROM ANY BUILDING	10 FT	10 FT	10 FT	10 FT

\* WHEN A LOT FACES ON MORE THAN ONE STREET, THE REQUIRED DIAMETER OF L.G.C. SHALL BE INCREASED BY 25%  
 \*\* IN THE R-5 ZONE THE MINIMUM SETBACKS OF STRUCTURES WITH HEIGHTS OVER TWENTY (20) FEET SHALL BE INCREASED BY TWO (2) FEET, FOR EACH ONE (1) FOOT OF THE HEIGHT OF THE STRUCTURE IN EXCESS OF TWENTY (20) FEET. THE SECOND NUMBERS SHOWN ASSUME A MAXIMUM PRINCIPAL BUILDING 35 FEET HEIGHT OR A MAXIMUM 30 FEET ACCESSORY BUILDING HEIGHT.

**LOT LINE TABLE**

EX LOT	LINE	BEARING	DISTANCE
42.06	L1	N 87°01'32" W	18.97'
42.07	L2	N 64°40'38" E	80.71'
42.07	L3	S 83°33'25" E	27.02'
42.07	L4	S 34°23'07" W	34.44'
42.07	L5	S 72°32'53" E	79.19'
42.07	L6	N 87°33'23" E	34.40'
42.07	L7	S 51°38'15" E	45.57'
42.07	L8	N 44°21'32" E	26.38'
42.07	L9	N 83°14'11" E	24.96'
42.07	L10	S 75°14'16" E	56.74'
42.07	L11	S 37°54'03" E	35.14'
42.07	L12	N 70°47'58" E	58.01'
42.07	L13	N 42°51'22" E	32.72'
42.07	L14	N 61°35'01" E	21.88'
42.08	L15	S 53°35'07" E	26.94'
42.08	L16	S 89°28'07" E	23.40'
42.08	L17	N 47°53'09" E	44.08'
42.08	L18	N 69°46'43" E	55.05'
42.08	L19	N 59°19'45" E	36.54'
42.08	L20	N 59°07'51" E	31.46'
42.08	L21	S 70°30'39" E	25.64'
42.08	L22	N 63°04'31" E	28.46'
42.08	L23	S 54°03'09" E	40.14'
42.08	L24	N 47°49'11" E	51.50'
42.08	L25	N 117°27'21" E	17.79'
42.08	L26	N 65°41'41" E	21.91'
42.08	L27	N 23°48'31" E	28.00'
42.08	L28	N 71°31'41" E	76.51'

**YANNACONE VILLA & ALDRICH, LLC**  
 Civil Engineers & Land Surveyors  
 460 MAIN STREET, P.O. BOX 459  
 CHESTER, NEW JERSEY 07930  
 PHONE: 908-879-6646  
 FAX: 908-879-8591  
 N.J. STATE BOARD OF P.E. & L.S. CERTIFICATION OF AUTHORIZATION NO. 24G427934500

**CANDICE J. DAVIS**  
 N.J. PROFESSIONAL ENGINEER  
 NO. 24G04527000 DATE 10/04/22

**CHRISTOPHER J. ALDRICH**  
 N.J. PROFESSIONAL LAND SURVEYOR  
 NO. 34478 DATE 10/04/22  
 NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
1	10/04/22	PER NJDEP

PROJECT TITLE:  
**LAWRENCE FARM ESTATES**  
 MAJOR SUBDIVISION PLANS  
 EXMOOR DRIVE & SUTTON PLACE  
 LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
 TWP MAP SHEET 33  
 TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
 LOT 2 ~ BLOCK 8  
 TAX MAP SHEET 8  
 BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

**OVERALL EXISTING TRACT PLAN**

DRAWN BY:	DATE:
GY/JPW	SEPTEMBER 2, 2022
CHECKED BY:	SCALE:
GY/CJD	1"=200'
W.O.	222040
F.B.	-----
FILE:	

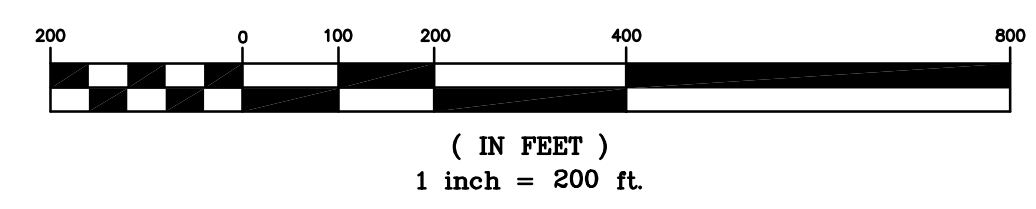
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**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET #8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "TRENDS SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
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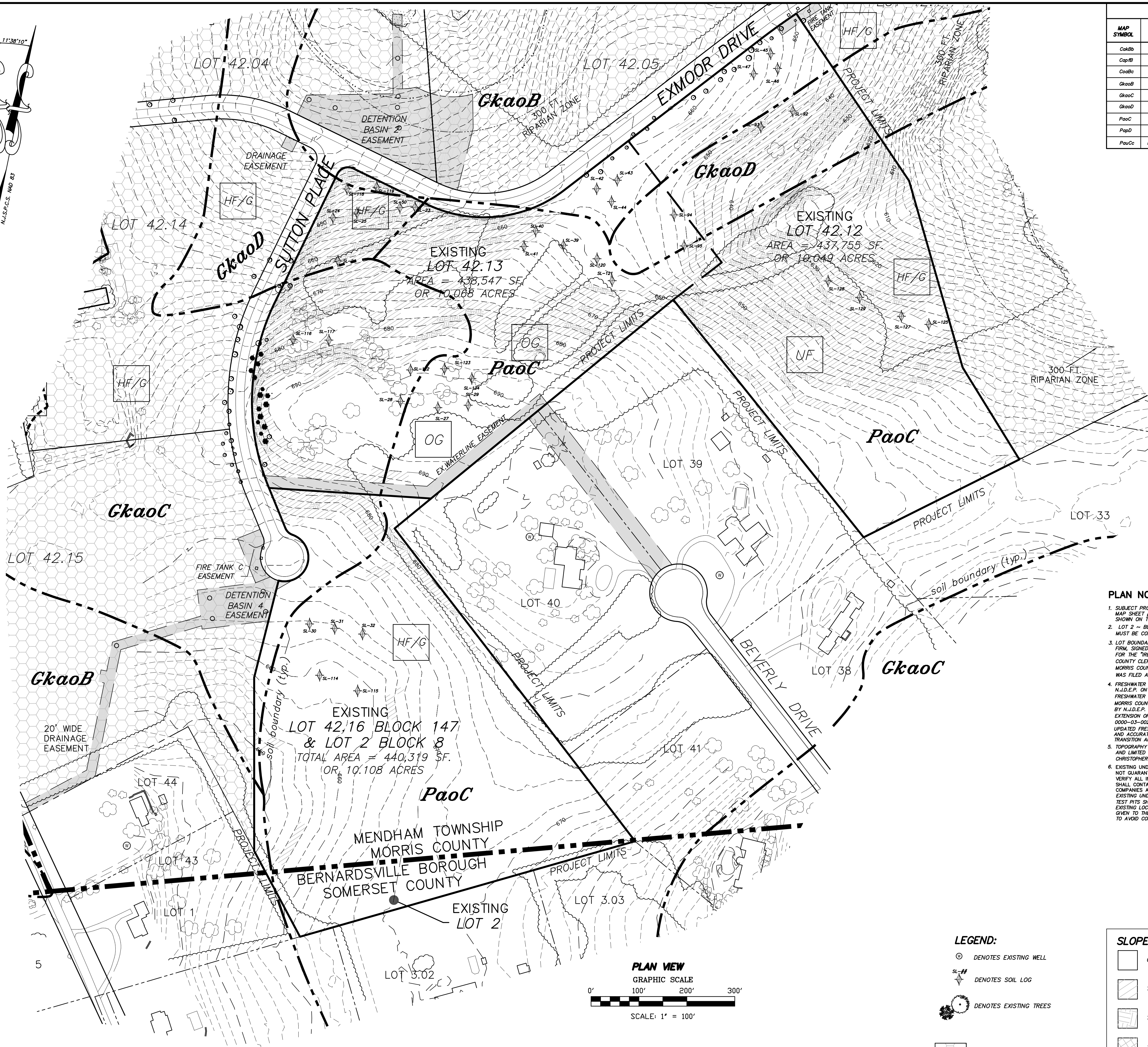
**PLAN VIEW**

GRAPHIC SCALE





NORTH REF. FILED MAP No. 5801  
N.J.S.P.C.S. MAD 83



**SOILS CLASSIFICATION PROPERTIES**

MAP SYMBOL	SOIL SERIES	SLOPE	DEPTH TO SEASONAL GROUNDWATER	DEPTH TO BEDROCK
CoaBb	CALIFON LOAM	0-8%	1.5 FT.	> 6.5 FT.
CoaBf	CALIFON LOAM	3-8%	1.5 FT.	> 6.5 FT.
CoaBc	COKEBURY LOAM	0-8%	0.5 FT.	> 6.5 FT.
GkooB	GLADSTONE GRAVELLY LOAM	3-8%	> 6.5 FT.	> 5.5 FT.
GkooC	GLADSTONE GRAVELLY LOAM	8-15%	> 6.5 FT.	> 5.5 FT.
GkooD	GLADSTONE GRAVELLY LOAM	15-25%	> 6.5 FT.	> 6.5 FT.
PaoC	PARKER GRAVELLY SANDY LOAM	3-15%	> 6.5 FT.	> 6.5 FT.
PapD	PARKER VERY GRAVELLY SANDY LOAM	15-25%	> 6.5 FT.	> 6.5 FT.
PaoCc	PARKER-EDNEYVILLE EXTREMELY STONY SANDY LOAMS	3-15%	> 6.5 FT.	> 6.5 FT.

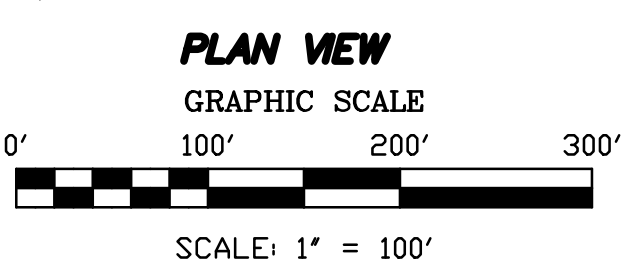
**SOIL LIMITATION DATA CHART**

SOIL SERIES & MAP SYMBOLS	DISPOSAL OF SEWAGE EFFLUENT (ONSITE)	SEPTIC SUITABILITY
CALIFON: CoaBb	SEVERE	IIH/Mp
CALIFON VARIANT: CoaBf	SEVERE	IIH/M
COKEBURY: CoaBc	SEVERE	IIH/Mp
GLADSTONE: GkooB GkooC GkooD	SLIGHT MODERATE SEVERE	I, IIsc IIsc IIsc
PARKER: PaoC PapD PaoCc	MODERATE SEVERE MODERATE	IIsc IIsc IIsc

**EXISTING LOT AREA TABLE**

LOT NO.	ACRE
42.06	10.046
42.07	10.071
42.08	10.055
42.12	10.049
42.13	10.068
42.16	10.108
<b>TOTAL</b>	<b>60.398</b>

- PLAN NOTES:**
- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
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  - FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002. FILE NO. 1418-02-0004.1 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK 8, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998. FILE NO. 0000-98-0003.1. ON MARCH 19, 2004, THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2006. FILE NO. 0000-03-0025.1 (FWW 030001). UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
  - TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S. #34478. VERTICAL DATUM: NAVD 88
  - EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.



- LEGEND:**
- ⊙ DENOTES EXISTING WELL
  - SL-## DENOTES SOIL LOG
  - 🌳 DENOTES EXISTING TREES
  - ⬜ denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "TRENE SPRING TREE FARM" MAJOR SUBDIVISION (c-2004))

- SLOPES LEGEND:**
- 0% - 10% SLOPES
  - 10% - 15% SLOPES
  - 15% - 25% SLOPES
  - > 25% SLOPES

- VEGETATION COMMUNITIES & FORESTED AREAS LEGEND:**
- HF/G HAYFIELD/GRASS/MAINTAINED LAWN
  - UF UPLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
  - WF WETLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
  - OG OAK GROVE CONSISTS MOSTLY OF OAKS (12-48") IN MAINTAINED MEADOW GRASS

**YANNACCONI VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD OF P.E. & L.S. CERTIFICATION OF AUTHORIZATION No. 24G27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24GE04527000 DATE 10/04/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
1	10/04/22	PER NJDEP

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS EXMOOR DRIVE & SUTTON PLACE LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147**  
TAX MAP SHEET 33 TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY LOT 2 ~ BLOCK 8 BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**ENVIRONMENTAL CONSTRAINTS PLAN - EXISTING LOTS 42.12, 42.13, 42.16 & 2**

DRAWN BY: GY/JPW DATE: SEPTEMBER 2, 2022

CHECKED BY: GY/CJD SCALE: 1" = 100'

W.D. 222040 F.B. -----

FILE: FILE PATH: M:\SEPTIC\DATA\222000\222040\PLANNINGBOARD FILE NAME: PB-02-0000-REV1.DWG



NORTH BY FILED MAP No. 5891  
N.J.S.P.C.S. MAD 83



**SOILS CLASSIFICATION PROPERTIES**

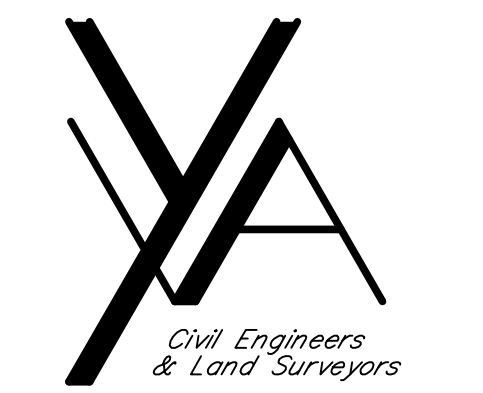
MAP SYMBOL	SOIL SERIES	SLOPE	DEPTH TO SEASONAL GROUNDWATER	DEPTH TO BEDROCK
CakBb	CALIFON LOAM	0-8%	1.5 FT.	> 6.5 FT.
CapB	CALIFON LOAM	3-8%	1.5 FT.	> 6.5 FT.
CoadC	COKESBURY LOAM	0-8%	0.5 FT.	> 6.5 FT.
GkooB	GLADSTONE GRAVELLY LOAM	3-8%	> 6.5 FT.	> 5.5 FT.
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PauCc	PARKER-EDMETHILLE EXTREMELY STONY SANDY LOAMS	3-15%	> 6.5 FT.	> 6.5 FT.

**SOIL LIMITATION DATA CHART**

SOIL SERIES & MAP SYMBOLS	DISPOSAL OF SEWAGE EFFLUENT (ONSITE)	SEPTIC SUITABILITY
CALIFON: CakBb	SEVERE	IIH+M
CALIFON VARIANT: CapB	SEVERE	IIH+
COKESBURY: CoadC	SEVERE	IIH+M
GLADSTONE: GkooB, GkooC, GkooD	SLIGHT, MODERATE, SEVERE	I, IISc, IISc
PARKER: PaoC, PapD, PauCc	MODERATE, SEVERE, MODERATE	IISc, IISc, IISc

**EXISTING LOT AREA TABLE**

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NO.	DATE	REVISION
1	10/04/22	PER NJDEP

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TOWNSHIP MAP SHEET 33  
TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
LAW MAP SHEET 8  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**ENVIRONMENTAL CONSTRAINTS PLAN - EXISTING LOTS 42.06, 42.07, 42.08**

DRAWN BY: GY/JPW  
DATE: SEPTEMBER 2, 2022

CHECKED BY: GY/CJD  
SCALE: 1" = 100'

W.D. 222040  
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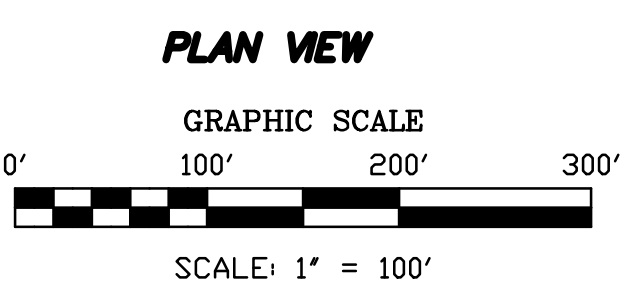
SHEET **4** OF 15

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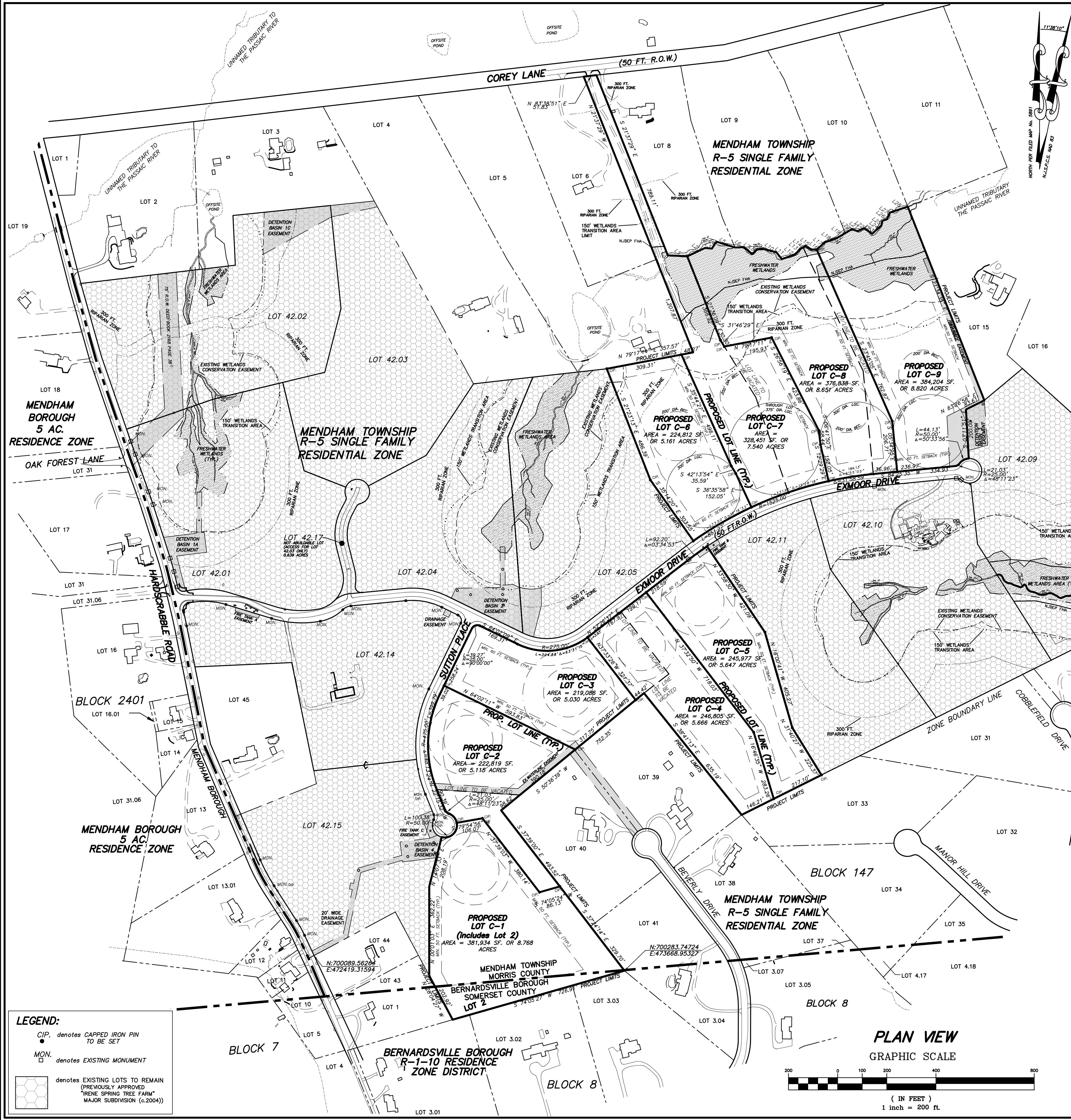
- LEGEND:**
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  - SL-## DENOTES SOIL LOG
  - DENOTES EXISTING TREES
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- SLOPES LEGEND:**
- 0% - 10% SLOPES
  - ▨ 10% - 15% SLOPES
  - ▩ 15% - 25% SLOPES
  - ▧ > 25% SLOPES

- VEGETATION COMMUNITIES & FORESTED AREAS LEGEND:**
- HF/G HAYFIELD/GRASS/MAINTAINED LAWN
  - UF UPLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
  - WF WETLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
  - OG OAK GROVE CONSISTS MOSTLY OF OAKS (12-48") IN MAINTAINED MEADOW GRASS







**MENDHAM TOWNSHIP ZONING SCHEDULE**  
**R-5 SINGLE-FAMILY RESIDENTIAL ZONE : PROPOSED LOTS**

ORDINANCE ITEM	REQUIRED MENDHAM TWP R-5 RESIDENTIAL ZONE	PROPOSED LOT C-1/ EXISTING LOT 2	PROPOSED LOT C-2	PROPOSED LOT C-3 (CORNER)	PROPOSED LOT C-4	PROPOSED LOT C-5
MIN. LOT AREA	5.0 AC	8,768 AC	5,115 AC	5,030 AC	5,666 AC	5,647 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	215,493 SF	103,403 SF	122,063 SF	132,499 SF	124,230 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	215,493 SF	94,210 SF	122,063 SF	132,499 SF	124,230 SF
MIN. LOT FRONTAGE	100 FT	100.38 FT	511.21 FT	258.24 FT	301.07 FT	310.79 FT
MIN. LOT GEOMETRY CIRCLE (LGC)*	300 FT./375 FT. DIA	300 FT	300 FT	375 FT	300 FT	300 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	200 FT	200 FT	200 FT	200 FT	200 FT
MIN. SIDE YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT. / 90 FT.	60 FT	60 FT	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT./2.5 STORIES	35/2.5 STY	35/2.5 STY	35/2.5 STY	35/2.5 STY	35/2.5 STY
MAX. FLOOR AREA=2600 SF+(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	17,505 SF	11,295 SF	11,151 SF	12,232 SF	12,199 SF

**R-5 SINGLE-FAMILY RESIDENTIAL ZONE : PROPOSED LOTS**

ORDINANCE ITEM	REQUIRED MENDHAM TWP R-5 RESIDENTIAL ZONE	PROPOSED LOT C-6	PROPOSED LOT C-7 (THROUGH)	PROPOSED LOT C-8	PROPOSED LOT C-9
MIN. LOT AREA	5.0 AC	5,161 AC	7,540 AC	8,651 AC	8,820 AC
MIN. NET BUILDING ENVELOPE AREA (NBEA)	80,000 SF	123,633 SF	128,679 SF	127,929 SF	133,677 SF
MIN. CONTIGUOUS NET BLDG. ENVELOPE AREA	60,000 SF	123,633 SF	127,788 SF	127,929 SF	133,677 SF
MIN. LOT FRONTAGE	100 FT	273.50 FT	331.95 FT	282.10 FT	302.13 FT
MIN. LOT GEOMETRY CIRCLE (LGC)*	300 FT./375 FT. DIA	300 FT	375 FT	300 FT	300 FT
MIN. BUILDING ENVELOPE CIRCLE (BEC)	200 FT DIAM	200 FT	200 FT	200 FT	200 FT
MIN. SIDE YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT	50 FT
MIN. FRONT YARD SETBACK **	60 FT. / 90 FT.	60 FT	60 FT	60 FT	60 FT
MIN. REAR YARD SETBACK **	50 FT. / 80 FT.	50 FT	50 FT	50 FT	50 FT
MAX. BLDG. HEIGHT	35 FT./2.5 STORIES	35/2.5 STY	35/2.5 STY	35/2.5 STY	35/2.5 STY
MAX. FLOOR AREA=2600 SF+(1700SF X LOT ACREAGE)	11,100 SF (5 AC LOT)	11,374 SF	15,418 SF	17,561 SF	18,236 SF

\* WHEN A LOT FACES ON MORE THAN ONE STREET, THE REQUIRED DIAMETER OF L.G.C. SHALL BE INCREASED BY 25%.  
 \*\* IN THE R-5 ZONE THE MINIMUM SETBACKS OF STRUCTURES WITH HEIGHTS OVER TWENTY (20) FEET SHALL BE INCREASED BY TWO (2) FEET; FOR EACH ONE (1) FOOT OF THE HEIGHT OF THE STRUCTURE IN EXCESS OF TWENTY (20) FEET, THE SETBACKS SHOWN ASSUME A MAXIMUM PRINCIPAL BUILDING 35 FEET HEIGHT OR A MAXIMUM 30 FEET ACCESSORY BUILDING HEIGHT.

**LOT LINE TABLE**

PROP. LOT	LINE	BEARING	DISTANCE
C-7	L1	N 87°01'32" W	78.87'
C-8	L2	N 64°40'38" E	80.71'
C-8	L3	S 83°33'25" E	72.02'
C-8	L4	S 34°23'07" W	34.44'
C-8	L5	S 72°32'33" E	79.19'
C-8	L6	N 87°33'23" E	34.40'
C-8	L7	S 51°38'15" E	45.57'
C-8	L8	N 44°21'32" E	26.38'
C-8	L9	N 83°14'11" E	24.96'
C-8	L10	S 75°14'16" E	56.74'
C-8	L11	S 37°54'03" E	35.44'
C-8	L12	N 70°47'58" E	58.01'
C-8	L13	N 42°51'22" E	32.72'
C-8	L14	N 61°35'01" E	21.88'
C-8	L15	S 57°35'07" E	26.94'
C-9	L16	S 89°28'07" E	23.40'
C-9	L17	N 47°53'09" E	44.08'
C-9	L18	N 69°48'43" E	55.05'
C-9	L19	N 59°19'45" E	36.54'
C-9	L20	N 59°07'51" E	31.46'
C-9	L21	S 70°30'39" E	25.64'
C-9	L22	N 63°04'31" E	28.46'
C-9	L23	S 54°03'09" E	40.14'
C-9	L24	N 47°49'11" E	51.50'
C-9	L25	N 11°12'21" E	17.70'
C-9	L26	N 65°41'41" E	21.91'
C-9	L27	N 23°48'31" E	28.00'
C-9	L28	N 71°31'41" E	76.51'

**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET #8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
- LOT 2 ~ BLOCK 8, BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "TREEN'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 18-1 TO 18-3, ON APRIL 13, 2007.
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- UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NUDIP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S. #34478. VERTICAL DATUM: NAVD 83.
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, DEPTHS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING ARE SHOWN HEREON ONLY FOR THE PURPOSES OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON INDIVIDUAL LOT DEVELOPMENT PLANS TO BE PRESENTED FOR BUILDING AND SEPTIC PERMIT APPROVALS.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNLESS ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS, ALL REQUIRED "ORDER" PERMITS HAVE BEEN OBTAINED BY THE OWNER, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.

**YANNACCONE VILLA & ALDRICH, LLC**  
 Civil Engineers & Land Surveyors  
 460 MAIN STREET, P.O. BOX 459  
 CHESTER, NEW JERSEY 07930  
 PHONE: 908-879-6646  
 FAX: 908-879-8591  
 N.J. STATE BOARD OF P.E. & L.S.  
 CERTIFICATION OF AUTHORIZATION  
 No. 246A27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
 N.J. PROFESSIONAL ENGINEER  
 NO. 246E04527000 DATE 10/04/22

*Ryan J. Smith*  
**RYAN J. SMITH** DATE: 10/04/22  
 NEW JERSEY LICENSED PROFESSIONAL ENGINEER  
 AND LAND SURVEYOR NO. 42575

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
1	10/04/22	REV. PER TWP. TRC. & NUDIP

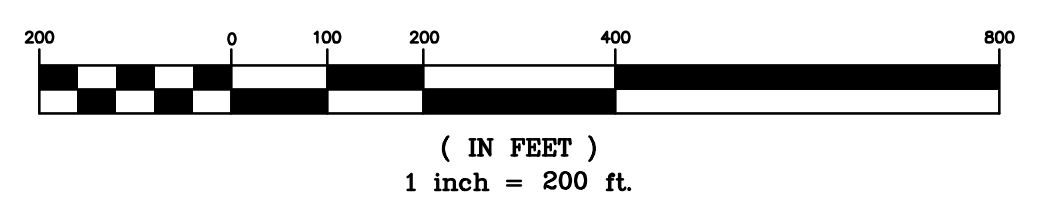
PROJECT TITLE:  
**LAWRENCE FARM ESTATES**  
**MAJOR SUBDIVISION PLANS**  
**EXMOOR DRIVE & SUTTON PLACE**  
**LOTS 42.06, 42.07, 42.08 & 42.12, 42.13, 42.16 ~ BLOCK 147**  
 TAX MAP SHEET 33  
 TOWNSHIP OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY  
 LOT 2 ~ BLOCK 8  
 BOROUGH OF BERNARDSVILLE  
 SOMERSET COUNTY, NEW JERSEY

**MAJOR SUBDIVISION PLAN**

DRAWN BY:	DATE:
GY/JPW	SEPT 2, 2022
CHECKED BY:	SCALE:
GY/CJD	1"=200'
W.D.	222040
F.B.	-----
FILE:	
FILE PATH: M:\SEPTIC\DATA\222000\222040\PLANNING\BOARD FILE NAME: PB-02-0000-REV1.DWG	
SHEET <b>5</b> OF <b>15</b>	

**LEGEND:**

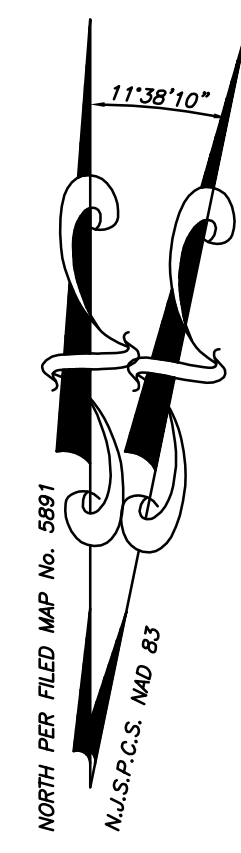
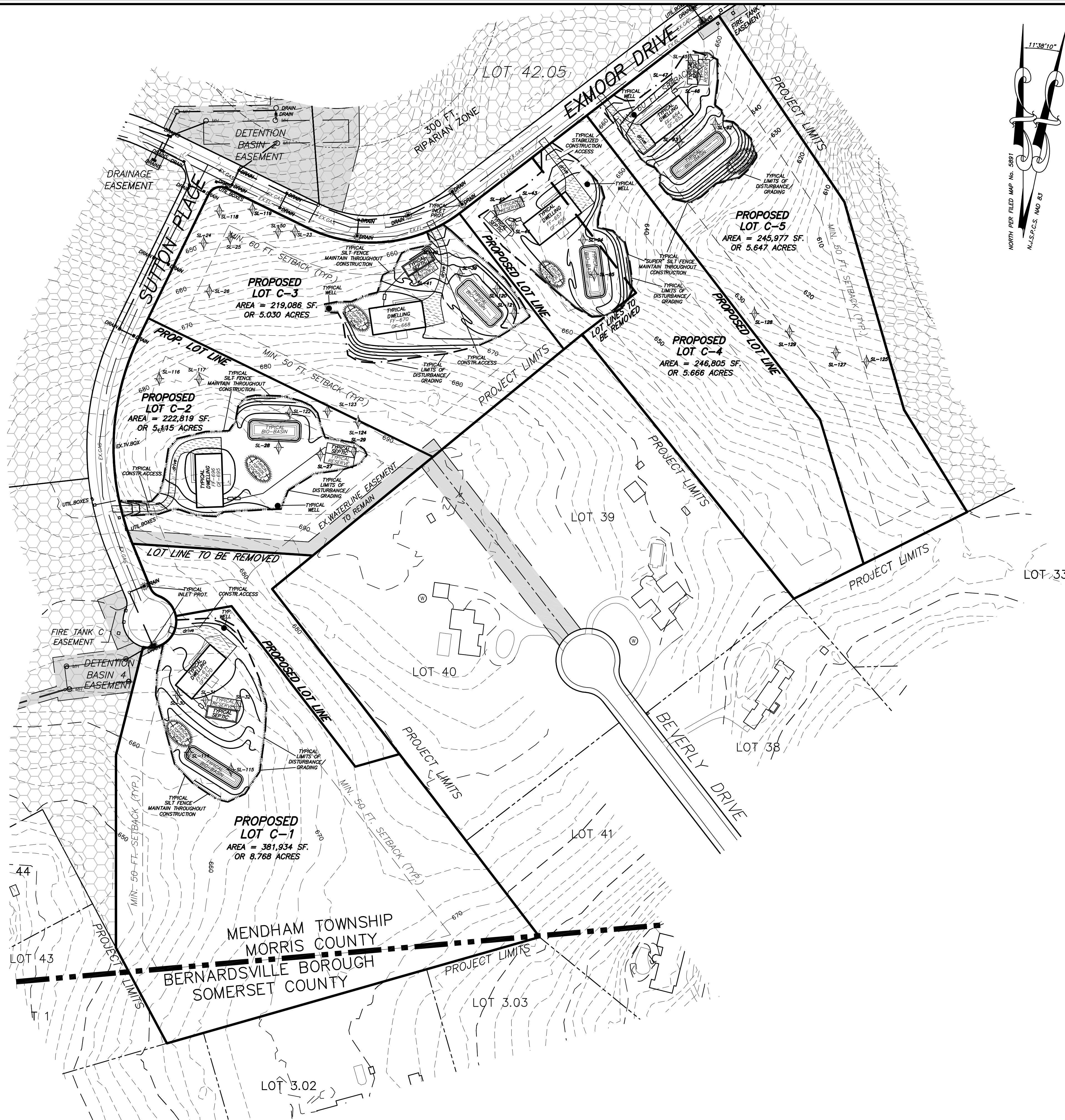
- CIP. denotes CAPPED IRON PIN TO BE SET
- MON. denotes EXISTING MONUMENT
- denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "TREEN'S SPRING TREE FARM" MAJOR SUBDIVISION (c.2004))





**PLAN NOTES:**

- SUBJECT PROPERTIES KNOWN AS LOTS 42.06, 42.07, 42.08, 42.12, 42.13 ~ BLOCK 147 AS SHOWN ON TAX MAP SHEET #33 OF THE TOWNSHIP OF MENDHAM, MORRIS COUNTY, NEW JERSEY AND LOT 2, BLOCK 8 AS SHOWN ON TAX MAP SHEET No. 8 OF THE BOROUGH OF BERNARDSVILLE, SOMERSET COUNTY, NEW JERSEY.
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CERTIFICATION OF AUTHORIZATION  
No. 24GA27934500

*Candice J. Davis*  
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NO. 24GE04527000 DATE 10/04/22

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NO.	DATE	REVISION
1	10/04/22	REISSUE

PROJECT TITLE:  
**LAWRENCE FARM ESTATES**  
MAJOR SUBDIVISION PLANS  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 &  
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM  
MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE  
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - PROPOSED LOTS C-1, C-2, C-3, C-4, C-5**

DRAWN BY: GY/JPW  
DATE: SEPTEMBER 2, 2022

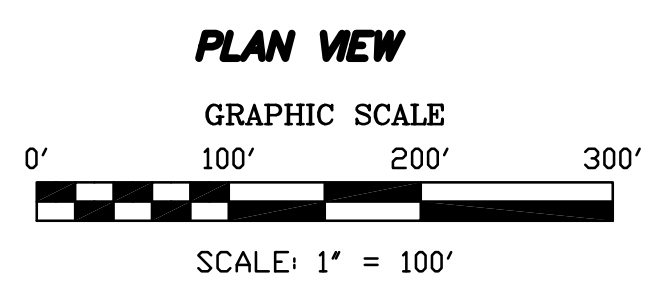
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SCALE: 1" = 100'

W.O. 222040  
F.B. -----

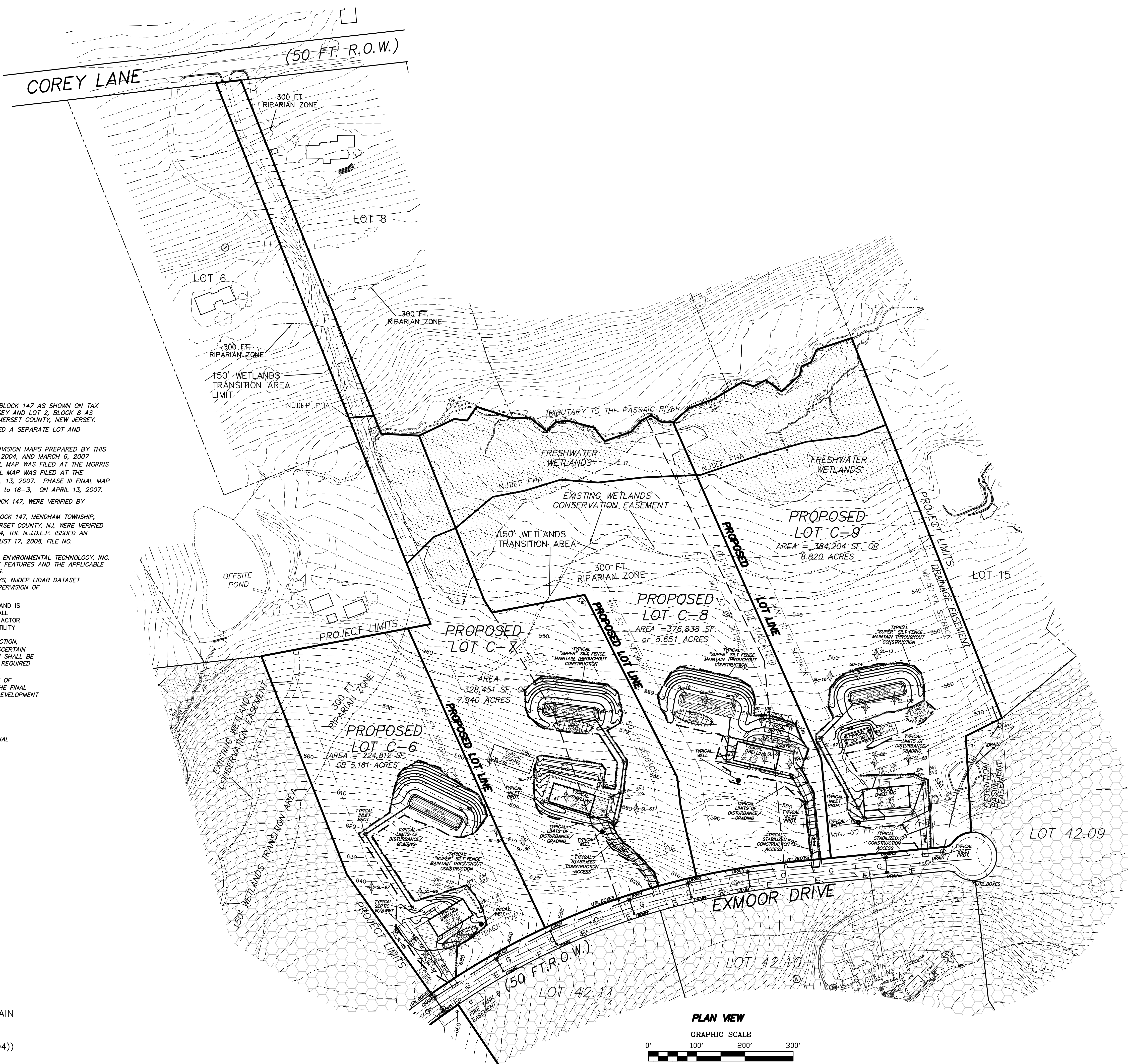
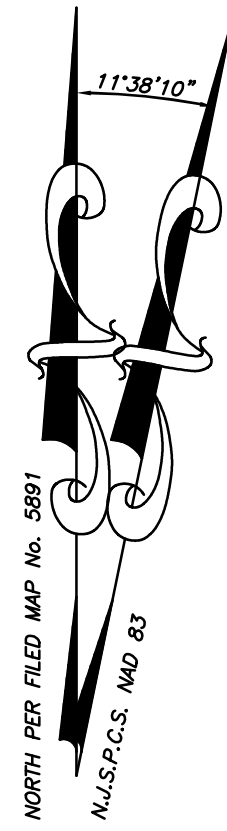
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FILE PATH: M:\SEPTIC\DATA\222000\222040  
PLANNINGBOARD\  
FILE NAME: PR-02-0000-REV1.DWG

**LEGEND:**

- denotes Existing Well
- denotes Typical Well
- SL-## denotes SOIL LOG
- denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2004))





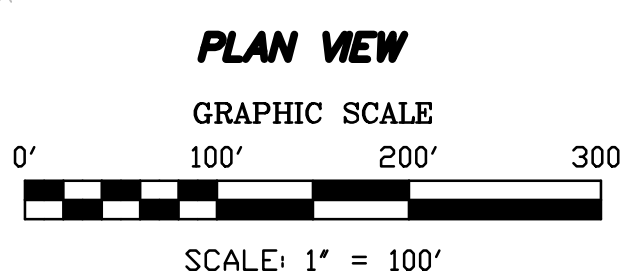


**PLAN NOTES:**

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**LEGEND:**

- denotes Existing Well
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- SL-## denotes SOIL LOG
- denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2004))



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**CANDICE J. DAVIS**  
 N.J. PROFESSIONAL ENGINEER  
 NO. 24GE04527000 DATE 10/04/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
1	10/04/22	REV. PER TWP. TRC. & NJDEP

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
 EXMOOR DRIVE & SUTTON PLACE  
 LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
 TAX MAP SHEET 33  
 TOWNSHIP OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY  
 LOT 2 ~ BLOCK 8  
 BOROUGH OF BERNARDSVILLE  
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN - PROPOSED LOTS C-6, C-7, C-8, C-9**

DRAWN BY: GY/JPW  
 DATE: SEPTEMBER 2, 2022

CHECKED BY: GY/CJD  
 SCALE: 1" = 100'

W.D. 222040  
 F.B. -----

FILE:  
 FILE PATH: \\S:\PTC\DATA\222000\222040\PLANNING\BOARD FILE NAME: PB-02-0000-REV1.DWG



# MENDHAM TWP TYPICAL SLOPE DISTURBANCE TABULATION

PROPOSED LOT C-1								
LAND SLOPE		AREA (sq.ft)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	375,901	0	54,358	54,358	14%	NO LIMIT	COMPLIES
	10-15%	5,890	0	140	140	2%	25%	COMPLIES
	15-25%	143	0	0	0	0%	15%	COMPLIES
	>25%	0	0	0	0	0%	5%	COMPLIES

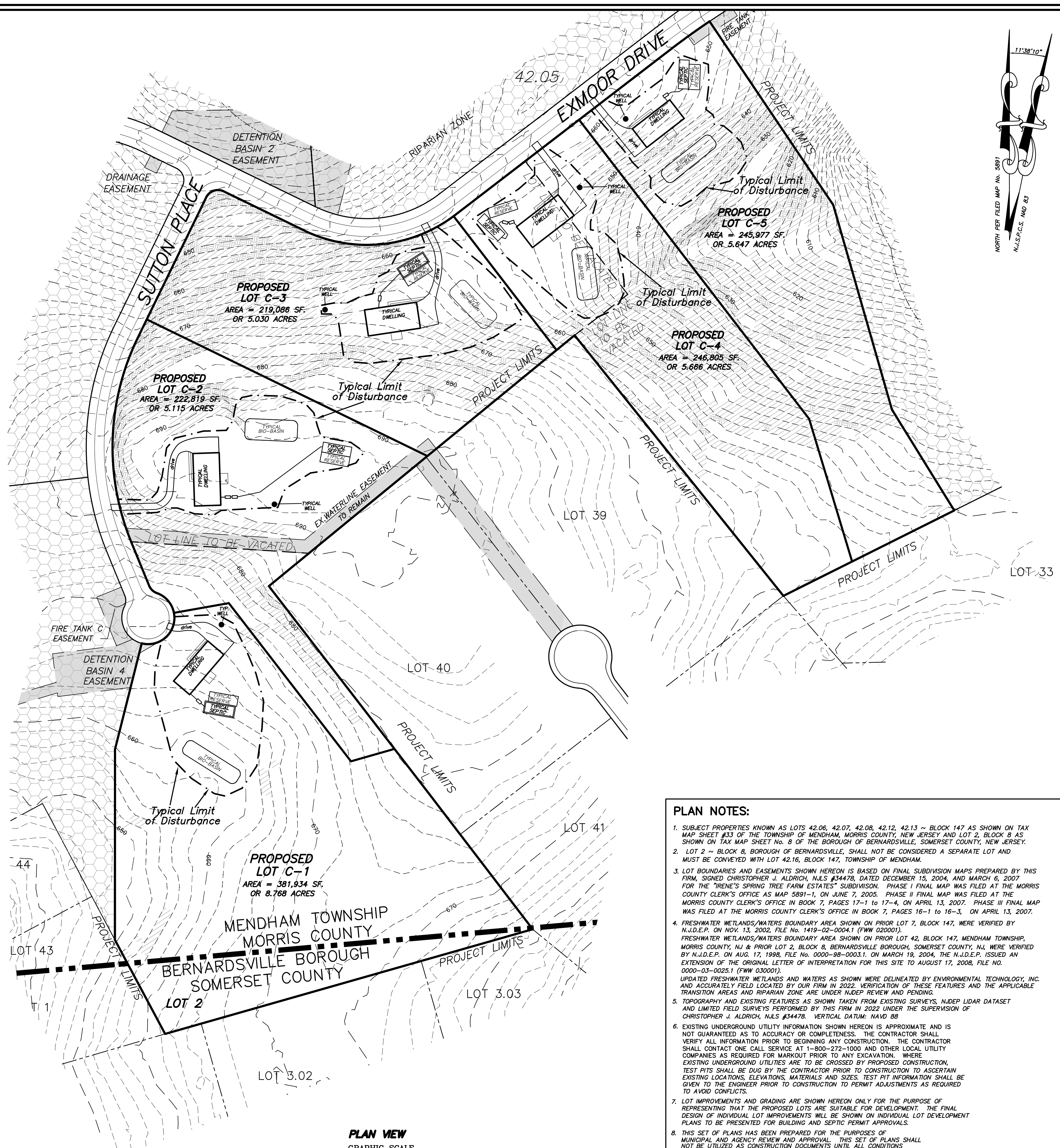
PROPOSED LOT C-2								
LAND SLOPE		AREA (sq.ft)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	148,471	0	51,647	51,647	35%	NO LIMIT	COMPLIES
	10-15%	57,143	0	3,521	3,521	6%	25%	COMPLIES
	15-25%	16,261	0	416	416	3%	15%	COMPLIES
	>25%	944	0	0	0	0%	5%	COMPLIES

PROPOSED LOT C-3								
LAND SLOPE		AREA (sq.ft)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	80,069	0	36,224	36,224	45%	NO LIMIT	COMPLIES
	10-15%	109,790	0	17,889	17,889	16%	25%	COMPLIES
	15-25%	27,665	0	1,510	1,510	5%	15%	COMPLIES
	>25%	1,562	0	0	0	0%	5%	COMPLIES

PROPOSED LOT C-4								
LAND SLOPE		AREA (sq.ft)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	136,397	0	41,421	41,421	30%	NO LIMIT	COMPLIES
	10-15%	94,871	0	7,936	7,936	8%	25%	COMPLIES
	15-25%	15,418	0	77	77	0.5%	15%	COMPLIES
	>25%	119	0	0	0	0%	5%	COMPLIES

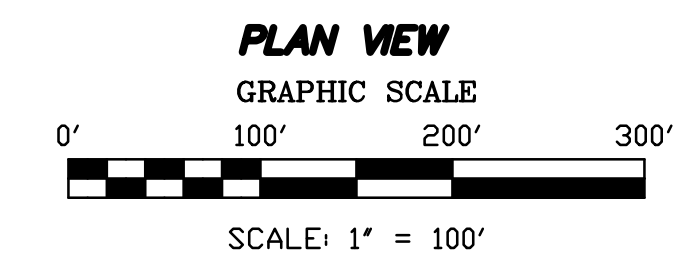
PROPOSED LOT C-5								
LAND SLOPE		AREA (sq.ft)	TYPICAL DISTURBED AREAS		TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
SYMBOL	CATEGORY		PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
	0-10%	102,934	0	17,985	17,985	17%	NO LIMIT	COMPLIES
	10-15%	116,356	0	21,791	21,791	19%	25%	COMPLIES
	15-25%	25,358	0	3,601	3,601	14%	15%	COMPLIES
	>25%	1,329	0	0	0	0%	5%	COMPLIES

NOTE: STEEP SLOPES ANALYSIS BASED ON 2 FOOT CONTOUR INTERVALS.

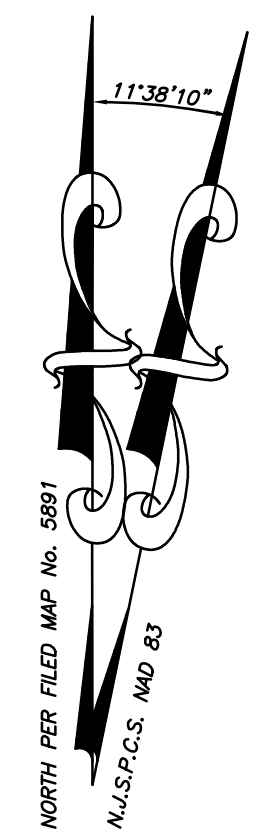


### PLAN NOTES:

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denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2004))



**YANNACONE VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24GE04527000

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24GE04527000 DATE 10/04/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
1	10/04/22	REISSUE

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**SLOPE ANALYSIS PLAN - PROPOSED LOTS C-1, C-2, C-3, C-4, C-5**

DRAWN BY: GY/JPW	DATE: SEPTEMBER 2, 2022
CHECKED BY: GY/CJD	SCALE: 1" = 100'
W.D. 222040	F.B. -----

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FILE NAME: PB-02-0000-REV.DWG



*Candice J. Davis*  
**CANDICE J. DAVIS**  
 N.J. PROFESSIONAL ENGINEER  
 NO. 24GE04527000 DATE 10/04/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

1	10/04/22	REV. PER TWP. TRC. & NJDEP
NO.	DATE	REVISION

PROJECT TITLE:  
**LAWRENCE FARM ESTATES**  
 MAJOR SUBDIVISION PLANS  
 EXMOOR DRIVE & SUTTON PLACE  
 LOTS 42.06, 42.07, 42.08 &  
 LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
 TAX MAP SHEET 33  
 TOWNSHIP OF MENDHAM  
 MORRIS COUNTY, NEW JERSEY  
 LOT 2 ~ BLOCK 8  
 SAN MAP SHEET 8  
 BOROUGH OF BERNARDSVILLE  
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**SLOPE ANALYSIS PLAN - PROPOSED LOTS C-6, C-7, C-8, C-9**

DRAWN BY: GY/JPW  
 DATE: SEPTEMBER 2, 2022

CHECKED BY: GY/CJD  
 SCALE: 1" = 100'

W.D. 222040

F.B. -----

FILE:  
 FILE PATH: M:\SEPTIC\DATA\222000\222040\PLANNINGBOARD  
 FILE NAME: PB-02-0000-REV1.DWG

**MENDHAM TWP**  
**TYPICAL SLOPE DISTURBANCE TABULATION**

PROPOSED LOT C-6								
LAND SLOPE SYMBOL	CATEGORY	AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
			PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
[Symbol]	0-10%	23,547	0	14,433	14,433	61%	NO LIMIT	COMPLIES
[Symbol]	10-15%	95,427	0	21,859	21,859	23%	25%	COMPLIES
[Symbol]	15-25%	98,961	0	12,263	12,263	12%	15%	COMPLIES
[Symbol]	>25%	6,877	0	100	100	1%	5%	COMPLIES

PROPOSED LOT C-7								
LAND SLOPE SYMBOL	CATEGORY	AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
			PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
[Symbol]	0-10%	67,382	0	4,135	4,135	6%	NO LIMIT	COMPLIES
[Symbol]	10-15%	149,742	0	30,439	30,439	20%	25%	COMPLIES
[Symbol]	15-25%	96,457	0	12,469	12,469	13%	15%	COMPLIES
[Symbol]	>25%	14,870	0	557	557	4%	5%	COMPLIES

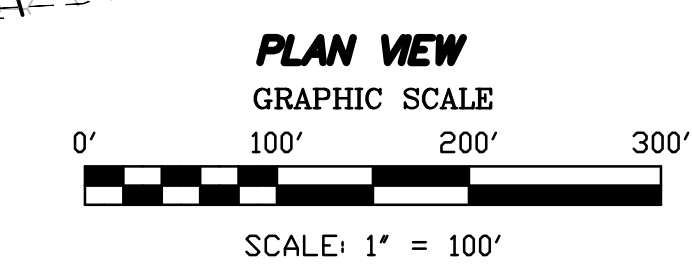
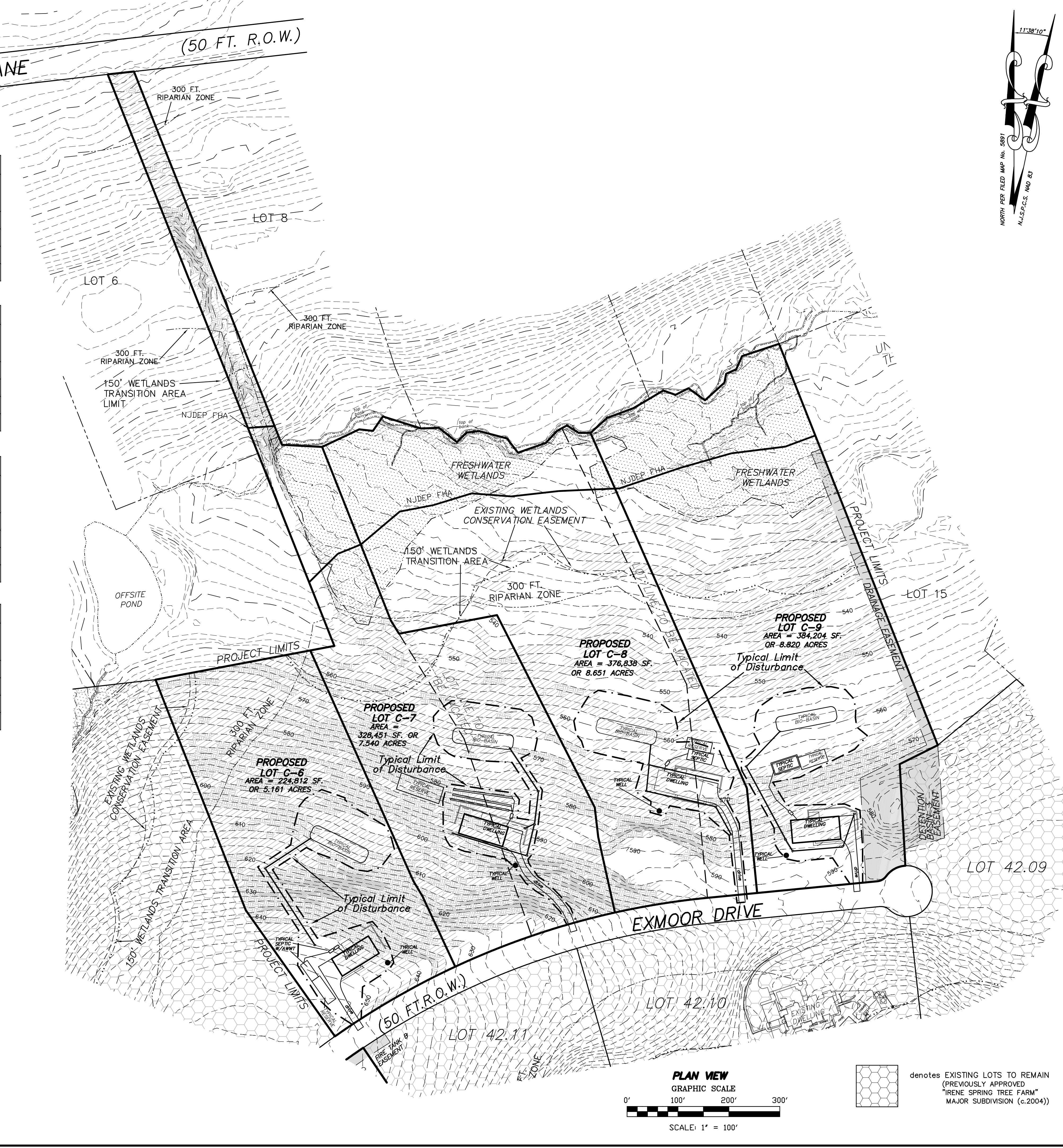
PROPOSED LOT C-8								
LAND SLOPE SYMBOL	CATEGORY	AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
			PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
[Symbol]	0-10%	235,805	0	17,514	17,514	7%	NO LIMIT	COMPLIES
[Symbol]	10-15%	114,454	0	26,747	26,747	23%	25%	COMPLIES
[Symbol]	15-25%	22,616	0	2,183	2,183	10%	15%	COMPLIES
[Symbol]	>25%	3,963	0	0	0	0%	5%	COMPLIES

PROPOSED LOT C-9								
LAND SLOPE SYMBOL	CATEGORY	AREA (sq.ft.)	TYPICAL DISTURBED AREAS		TYPICAL TOTAL AREA DISTURBED (sq.ft.)	TOTAL DISTURBED (percent)	MAXIMUM ALLOWABLE DISTURBED (percent)	COMMENTS
			PUBLIC IMPROVEMENTS (sq.ft.)	HOUSE, YARD SEPTIC & DRIVE (sq.ft.)				
[Symbol]	0-10%	210,039	0	36,649	36,649	17%	NO LIMIT	COMPLIES
[Symbol]	10-15%	143,835	0	15,882	15,882	11%	25%	COMPLIES
[Symbol]	15-25%	26,790	0	2,074	2,074	8%	15%	COMPLIES
[Symbol]	>25%	3,540	0	0	0	0%	5%	COMPLIES

NOTE: STEEP SLOPES ANALYSIS BASED ON 2 FOOT CONTOUR INTERVALS.

**PLAN NOTES:**

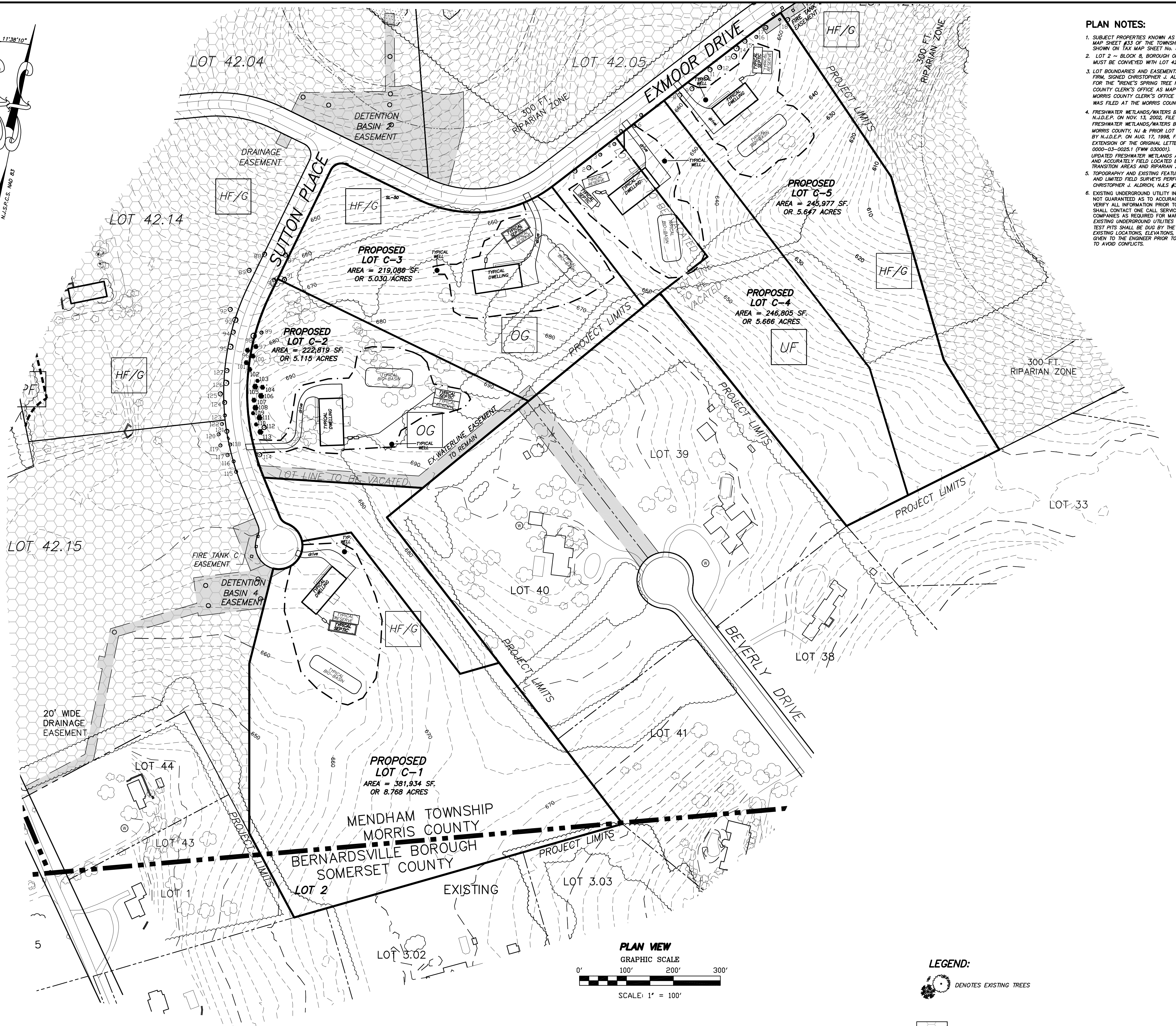
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denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2004))



NORTH BY FILED MAP No. 5891  
 N.J.S.P.C.S. AND 83



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**INVENTORY OF EXISTING STREET TREES**

No.	DESCRIPTION
1	8" OAK
2	8" OAK
3	6" OAK
4	6" OAK
5	6" ASH
6	6" ASH
7	6" ASH
8	8" OAK
9	8" OAK
10	8" OAK
11	8" OAK
12	8" OAK
13	10" ASH
14	10" OAK
15	8" OAK
16	6" OAK
17	8" OAK
18	8" MAPLE
87	8" OAK
88	8" OAK
89	8" OAK
90	6" OAK
91	8" OAK
92	8" TREE
93	10" TREE
94	8" TREE
95	10" MAPLE
96	10" SPRUCE
97	10" SPRUCE
98	10" TREE
99	8" BEECH
100	10" SPRUCE
101	10" SPRUCE
102	10" SPRUCE
103	8" SPRUCE
104	10" SPRUCE
105	12" SPRUCE
106	12" SPRUCE
107	10" SPRUCE
108	12" SPRUCE
109	8" SPRUCE
110	8" SPRUCE
111	12" SPRUCE
112	8" TREE
113	12" SPRUCE
114	8" OAK
115	6" OAK
116	6" OAK
117	6" OAK
118	6" OAK
119	6" OAK
120	6" MAPLE
121	8" MAPLE
122	6" OAK
123	6" MAPLE
124	8" TREE
125	8" TREE
126	10" OAK
127	8" MAPLE



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 LOT 2 ~ BLOCK 8  
 TAX MAP SHEET #  
 BOROUGH OF BERNARDSVILLE  
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**EXISTING LANDSCAPING INVENTORY PLAN - PROPOSED LOTS C-1, C-2, C-3, C-4, C-5**

DRAWN BY: GY/JPW  
 DATE: SEPTEMBER 2, 2022

CHECKED BY: GY/CJD  
 SCALE: 1" = 100'

W.O. 222040  
 F.B. -----

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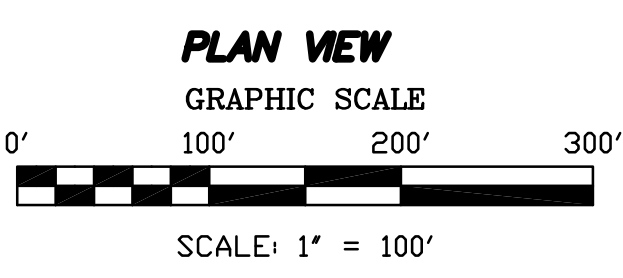
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**VEGETATION COMMUNITIES & FORESTED AREAS LEGEND:**

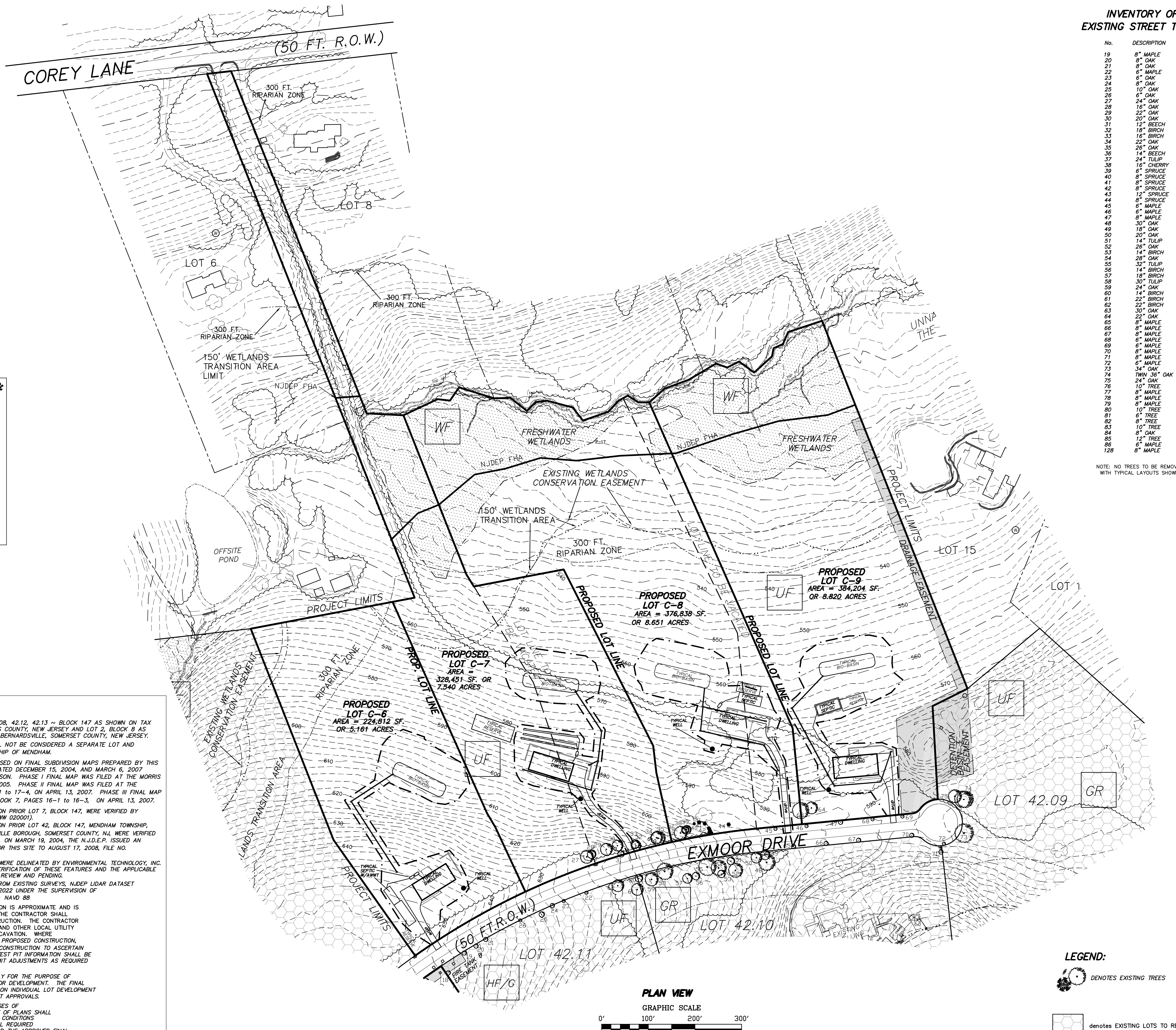
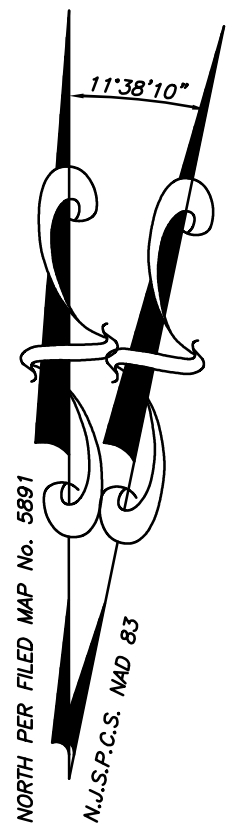
- HF/G HAYFIELD/GRASS/MAINTAINED LAWN
- UF UPLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12"-48" DIA.)
- WF WETLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12"-48" DIA.)
- OG OAK GROVE CONSISTS MOSTLY OF OAKS (12"-48") IN MAINTAINED MEADOW GRASS

**LEGEND:**

- DENOTES EXISTING TREES
- denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c-2004))





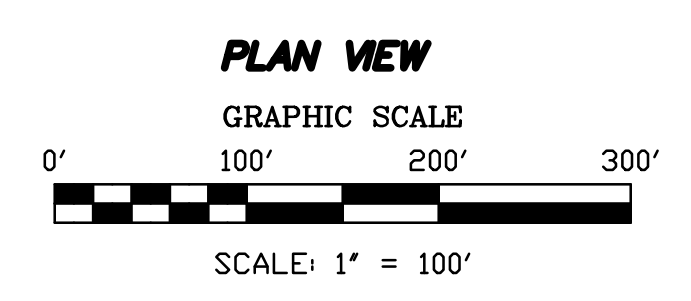


**VEGETATION COMMUNITIES & FORESTED AREAS LEGEND:**

HF/GR	HAYFIELD/GRASS/MAINTAINED LAWN
UF	UPLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
WF	WETLAND FOREST CONSISTS MOSTLY OF OAKS, MAPLES, HICKORY, POPLAR (12-48" DIA.)
OG	OAK GROVE CONSISTS MOSTLY OF OAKS (12-48") IN MAINTAINED MEADOW GRASS

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- LOT 2 ~ BLOCK B, BOROUGH OF BERNARDSVILLE, SHALL NOT BE CONSIDERED A SEPARATE LOT AND MUST BE CONVEYED WITH LOT 42.16, BLOCK 147, TOWNSHIP OF MENDHAM.
- LOT BOUNDARIES AND EASEMENTS SHOWN HEREON IS BASED ON FINAL SUBDIVISION MAPS PREPARED BY THIS FIRM, SIGNED CHRISTOPHER J. ALDRICH, N.J.S. #34478, DATED DECEMBER 15, 2004, AND MARCH 6, 2007 FOR THE "IRENE'S SPRING TREE FARM ESTATES" SUBDIVISION. PHASE I FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE AS MAP 5891-1, ON JUNE 7, 2005. PHASE II FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 17-1 TO 17-4, ON APRIL 13, 2007. PHASE III FINAL MAP WAS FILED AT THE MORRIS COUNTY CLERK'S OFFICE IN BOOK 7, PAGES 16-1 TO 16-3, ON APRIL 13, 2007.
- FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 7, BLOCK 147, WERE VERIFIED BY N.J.D.E.P. ON NOV. 13, 2002, FILE NO. 1419-02-0004.1 (FWW 020001). FRESHWATER WETLANDS/WATERS BOUNDARY AREA SHOWN ON PRIOR LOT 42, BLOCK 147, MENDHAM TOWNSHIP, MORRIS COUNTY, NJ & PRIOR LOT 2, BLOCK B, BERNARDSVILLE BOROUGH, SOMERSET COUNTY, NJ, WERE VERIFIED BY N.J.D.E.P. ON AUG. 17, 1998, FILE NO. 0000-98-0003.1, ON MARCH 19, 2004. THE N.J.D.E.P. ISSUED AN EXTENSION OF THE ORIGINAL LETTER OF INTERPRETATION FOR THIS SITE TO AUGUST 17, 2008, FILE NO. 0000-03-0025.1 (FWW 030001). UPDATED FRESHWATER WETLANDS AND WATERS AS SHOWN WERE DELINEATED BY ENVIRONMENTAL TECHNOLOGY, INC. AND ACCURATELY FIELD LOCATED BY OUR FIRM IN 2022. VERIFICATION OF THESE FEATURES AND THE APPLICABLE TRANSITION AREAS AND RIPARIAN ZONE ARE UNDER NJDEP REVIEW AND PENDING.
- TOPOGRAPHY AND EXISTING FEATURES AS SHOWN TAKEN FROM EXISTING SURVEYS, NJDEP LIDAR DATASET AND LIMITED FIELD SURVEYS PERFORMED BY THIS FIRM IN 2022 UNDER THE SUPERVISION OF CHRISTOPHER J. ALDRICH, N.J.S. #34478. VERTICAL DATUM: NAVD 88
- EXISTING UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS APPROXIMATE AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONE CALL SERVICE AT 1-800-272-1000 AND OTHER LOCAL UTILITY COMPANIES AS REQUIRED FOR MARKOUT PRIOR TO ANY EXCAVATION. WHERE EXISTING UNDERGROUND UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING LOCATIONS, ELEVATIONS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- LOT IMPROVEMENTS AND GRADING ARE SHOWN HEREON ONLY FOR THE PURPOSE OF REPRESENTING THAT THE PROPOSED LOTS ARE SUITABLE FOR DEVELOPMENT. THE FINAL DESIGN OF INDIVIDUAL LOT IMPROVEMENTS WILL BE SHOWN ON INDIVIDUAL LOT DEVELOPMENT PLANS TO BE PRESENTED FOR BUILDING AND SEPTIC PERMIT APPROVALS.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS. ALL REQUIRED AGENCY PERMITS HAVE BEEN OBTAINED BY THE OWNER, AND THE APPROVED FINAL SUBDIVISION MAPS HAVE BEEN FILED WITH THE MORRIS COUNTY CLERK'S OFFICE.



**INVENTORY OF EXISTING STREET TREES**

No.	DESCRIPTION
19	8" MAPLE
20	8" OAK
21	8" OAK
22	6" MAPLE
23	6" OAK
24	8" OAK
25	10" OAK
26	6" OAK
27	24" OAK
28	16" OAK
29	22" OAK
30	20" OAK
31	12" BEECH
32	18" BIRCH
33	16" BIRCH
34	22" OAK
35	26" OAK
36	14" BEECH
37	24" TULIP
38	16" CHERRY
39	6" SPRUCE
40	6" SPRUCE
41	8" SPRUCE
42	8" SPRUCE
43	12" SPRUCE
44	8" SPRUCE
45	6" MAPLE
46	6" MAPLE
47	8" MAPLE
48	30" OAK
49	18" OAK
50	20" OAK
51	14" TULIP
52	26" OAK
53	14" BIRCH
54	28" OAK
55	32" TULIP
56	14" BIRCH
57	18" BIRCH
58	30" TULIP
59	24" OAK
60	14" BIRCH
61	22" BIRCH
62	22" BIRCH
63	30" OAK
64	22" OAK
65	8" MAPLE
66	8" MAPLE
67	8" MAPLE
68	6" MAPLE
69	6" MAPLE
70	8" MAPLE
71	8" MAPLE
72	6" MAPLE
73	14" OAK
74	TWIN 36" OAK
75	24" OAK
76	10" TREE
77	8" MAPLE
78	8" MAPLE
79	8" MAPLE
80	10" TREE
81	6" TREE
82	8" TREE
83	10" TREE
84	8" OAK
85	12" TREE
86	6" MAPLE
128	8" MAPLE

NOTE: NO TREES TO BE REMOVED WITH TYPICAL LAYOUTS SHOWN.

**YANNACCONE VILLA & ALDRICH, LLC**  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD OF P.E. & L.S.  
CERTIFICATION OF AUTHORIZATION  
No. 24GA27934500

*Candice J. Davis*  
**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24GE04527000 DATE 10/04/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

NO.	DATE	REVISION
1	10/04/22	REV. PER TWP. TRC. & NJDEP

PROJECT TITLE:  
**LAWRENCE FARM ESTATES**  
MAJOR SUBDIVISION PLANS  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK B  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**EXISTING LANDSCAPING INVENTORY PLAN - PROPOSED LOTS C-6, C-7, C-8, C-9**

DRAWN BY: GY/JPW	DATE: SEPTEMBER 2, 2022
CHECKED BY: GY/GJD	SCALE: 1" = 100'
W.D. 222040	
F.B. -----	
FILE: FILE PATH: \\S:\SEPTIC\DATA\222000\222040\PLANNINGBOARD FILE NAME: PB-02-0000-REV1.DWG	

SHEET **11** OF 15

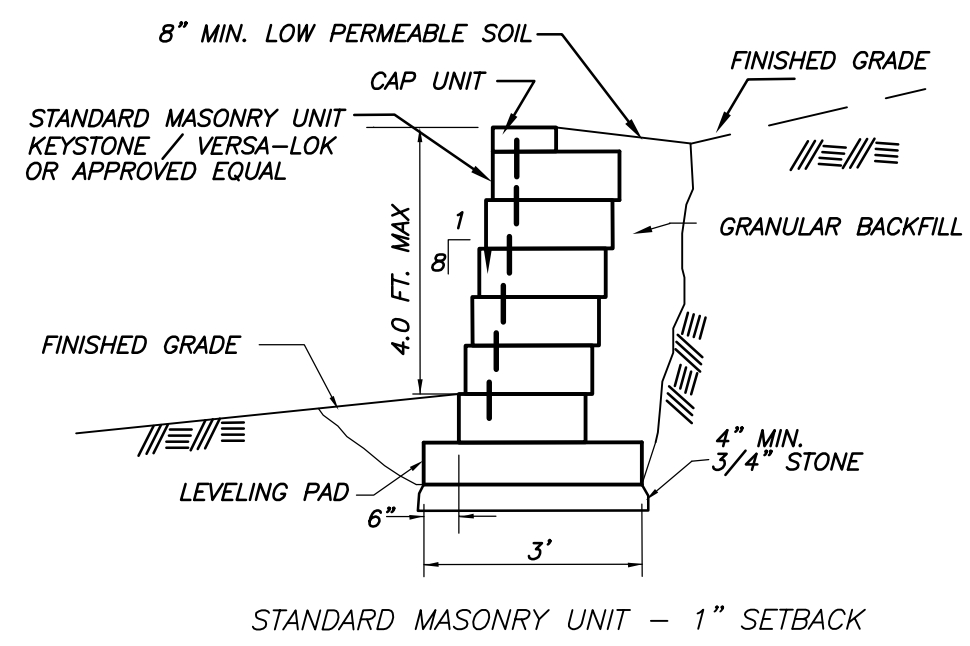
**LEGEND:**

denotes EXISTING TREES  
denotes EXISTING LOTS TO REMAIN (PREVIOUSLY APPROVED "IRENE SPRING TREE FARM" MAJOR SUBDIVISION (c.2004))



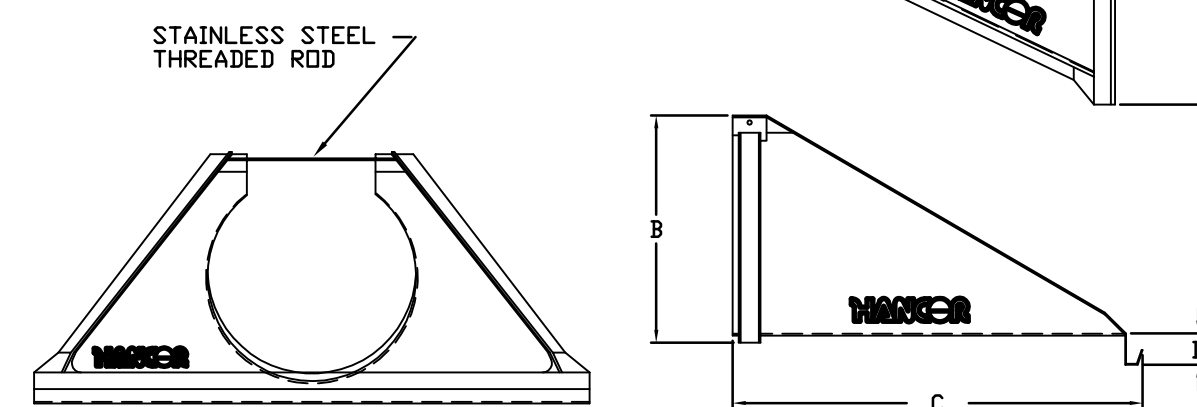




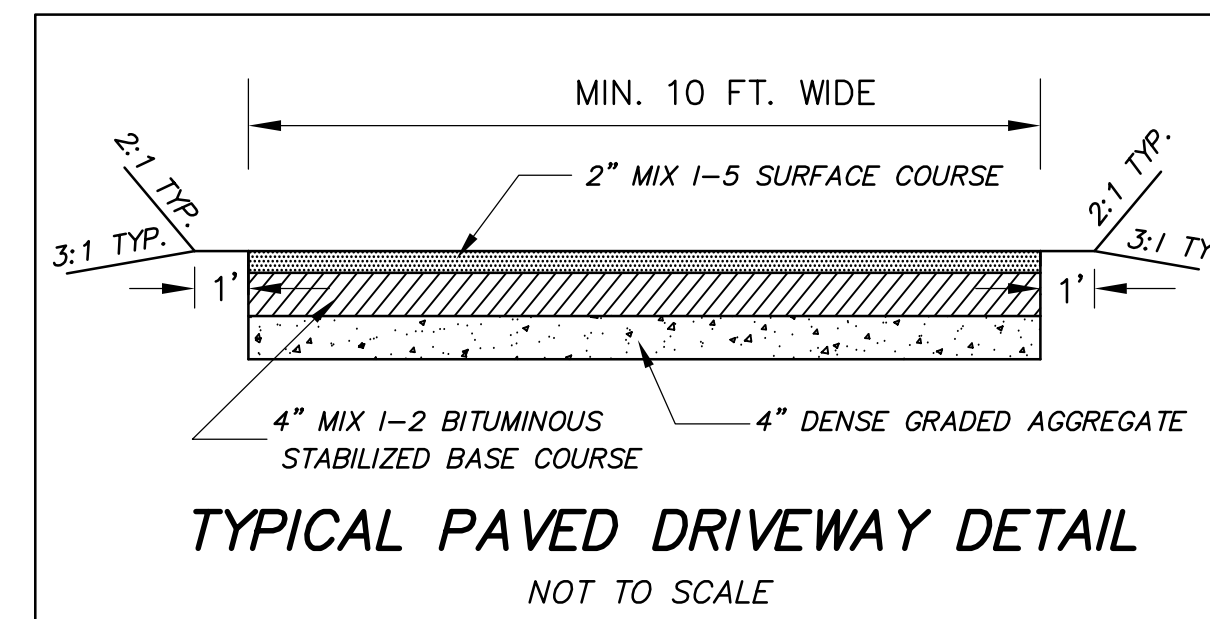


**TYPICAL MASONRY RETAINING WALL (OR APPROVED EQUAL)**  
NOT TO SCALE

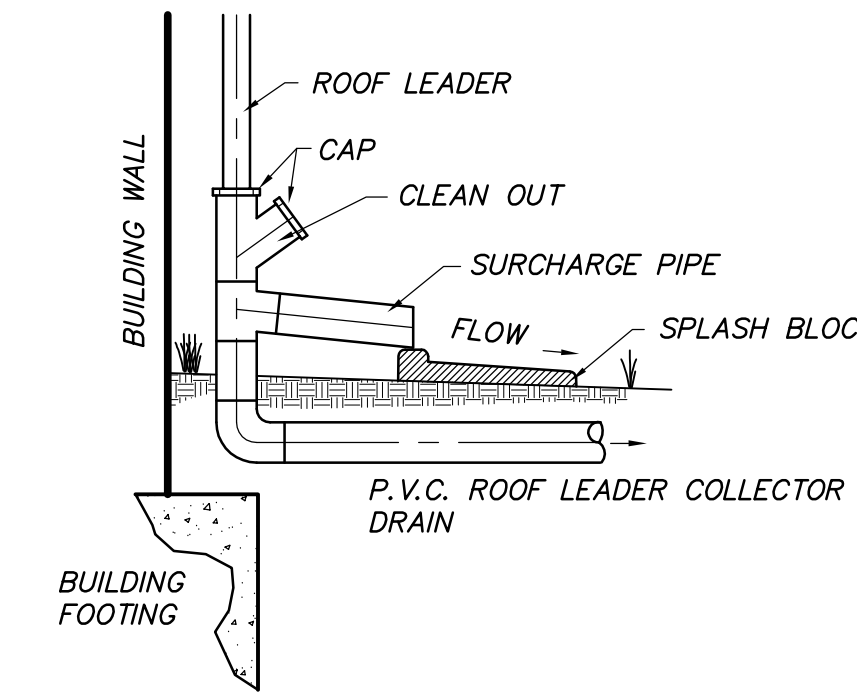
DIMENSION	PIPE DIAMETER, IN.					
	10/12	15	18	24	30	36
A	42	46	54	64	88	88
B	14.5	24.5	29	37	36	43
C	33	45.5	55	65	63.5	66.5
D	6	6	6	6	6	6



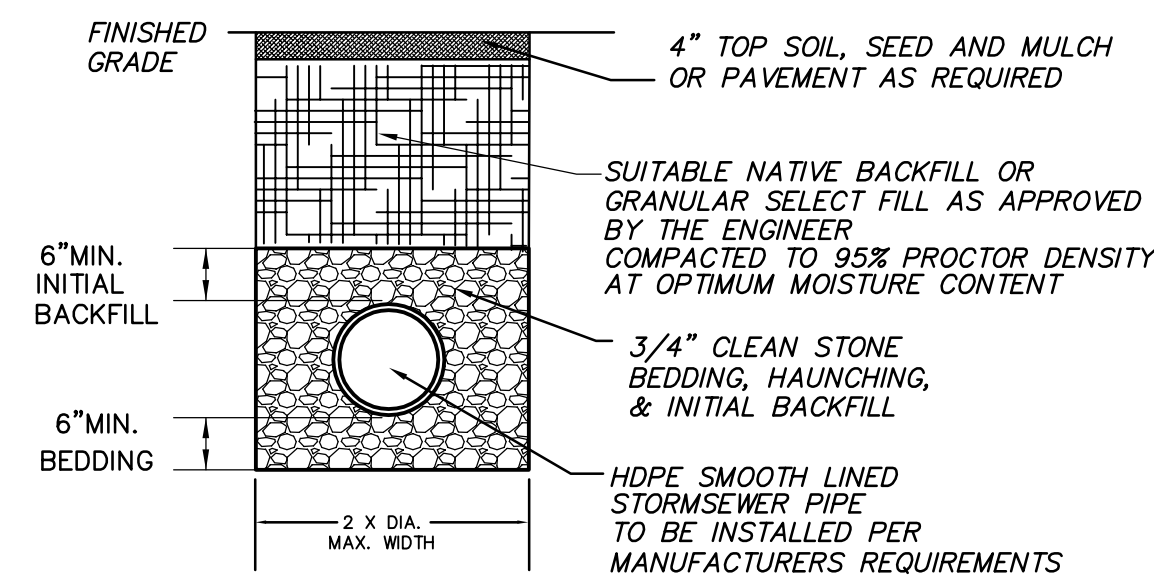
**TYPICAL HDPE FLARED END SECTION**  
N.T.S.



**TYPICAL PAVED DRIVEWAY DETAIL**  
NOT TO SCALE

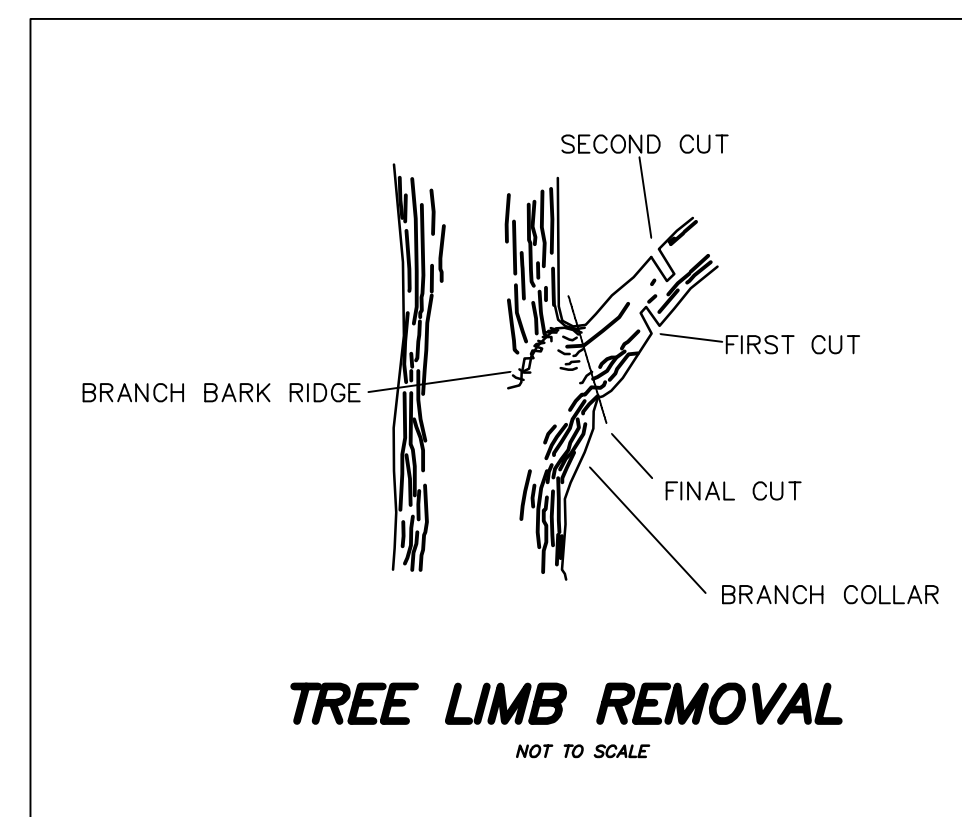


**ROOF LEADER OVERFLOW & CLEANOUT DETAIL**  
NOT TO SCALE

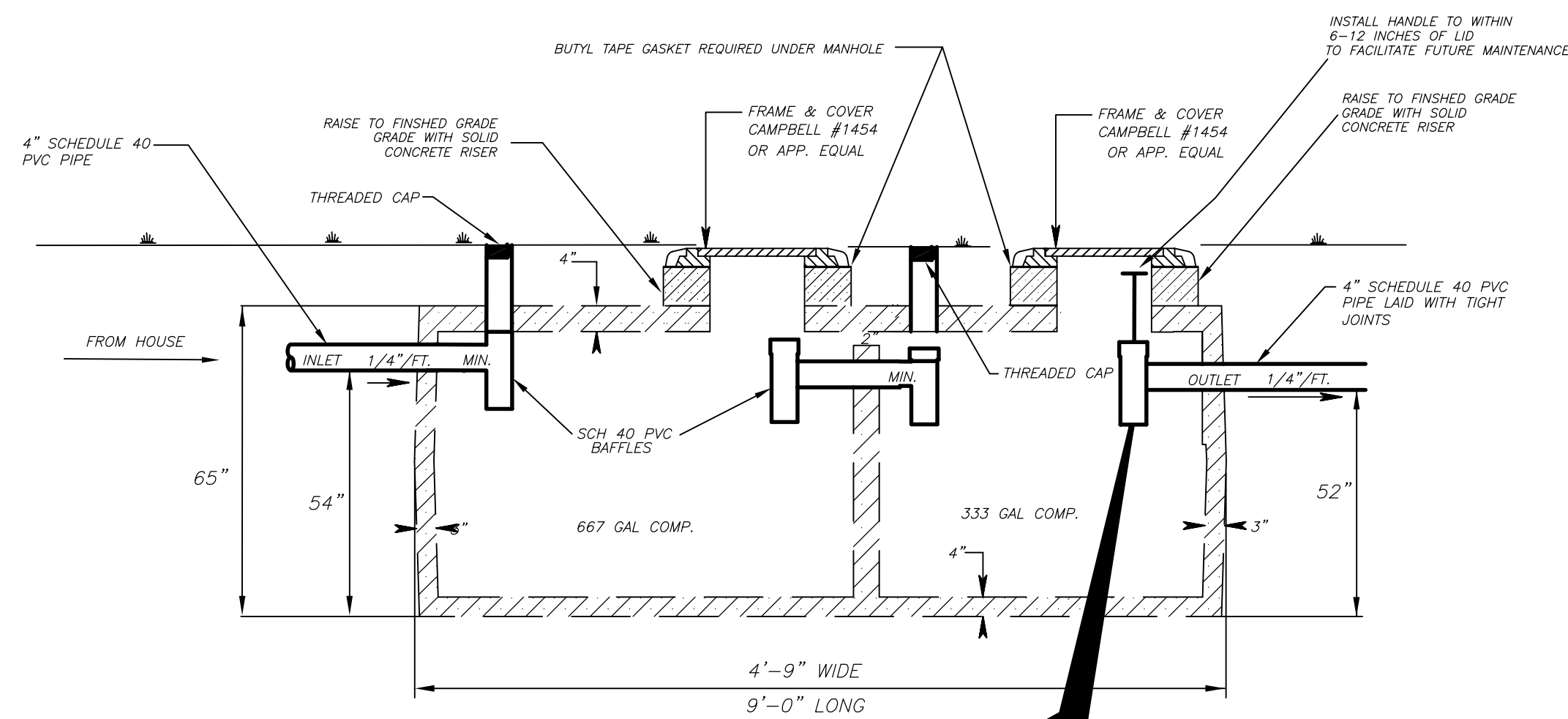


NOTE: ALL HDPE STORMSEWER PIPE SHALL HAVE SMOOTH INTERIOR LINING.

**HDPE STORMWATER PIPE TRENCH DETAIL**  
NOT TO SCALE



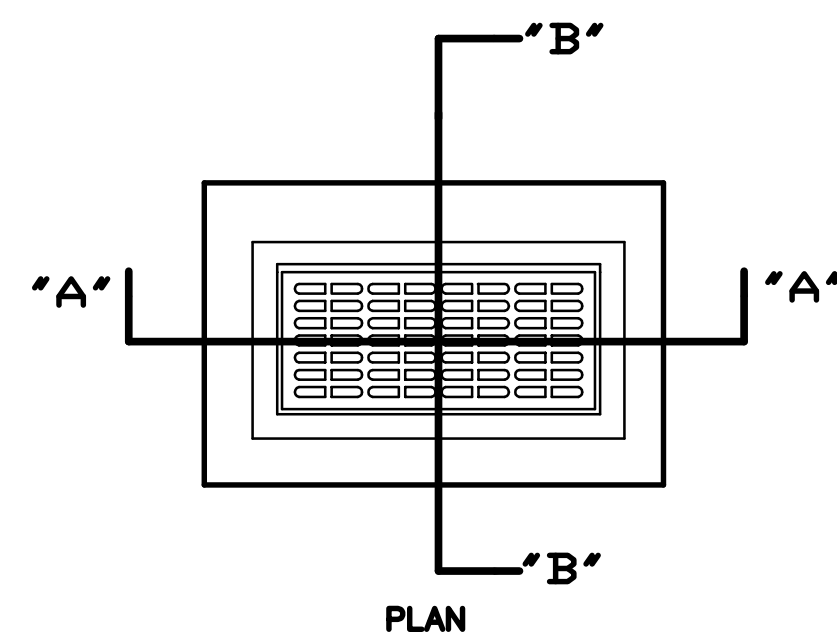
**TREE LIMB REMOVAL**  
NOT TO SCALE



**TYPICAL PROPOSED 1,000 GALLON DOUBLE COMPARTMENT SEPTIC TANKS**

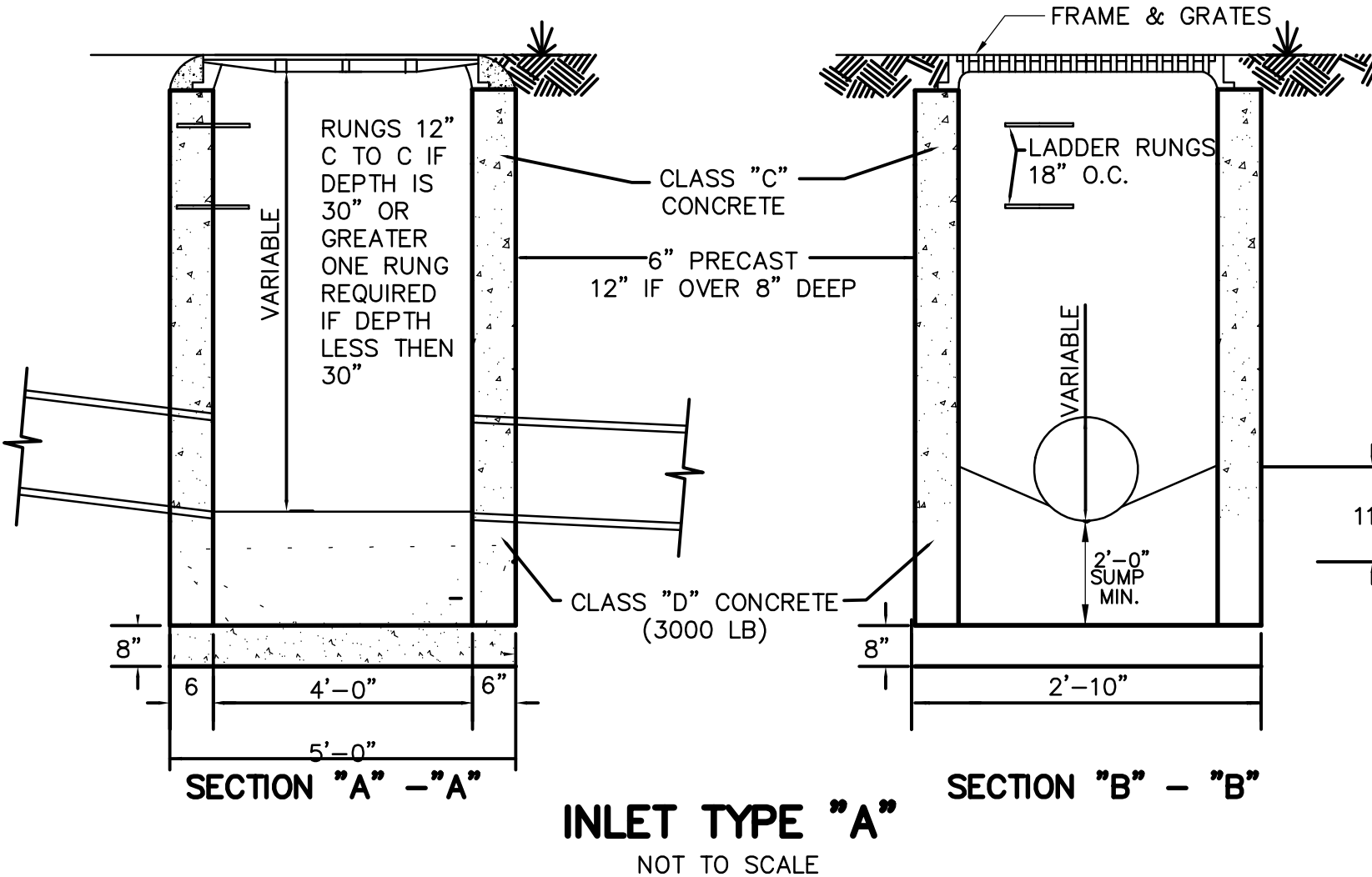
NOTE: CONTRACTOR MAY USE 6\"/>

TANKS SHOWN ARE FROM PEERLESS PRECAST CONCRETE (973.838.3060) USE THESE TANKS OR APPROVED EQUAL

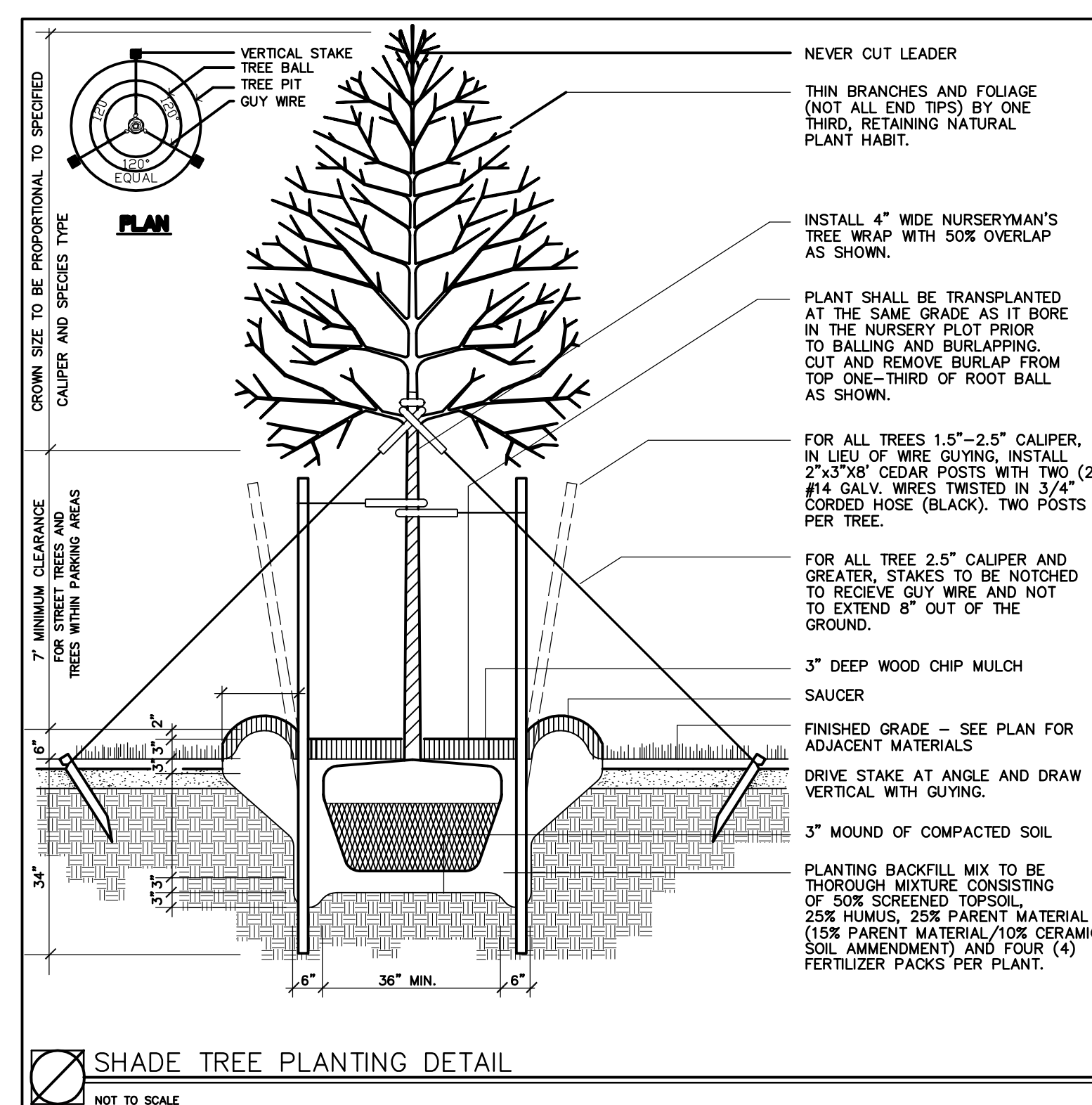


NOTE :

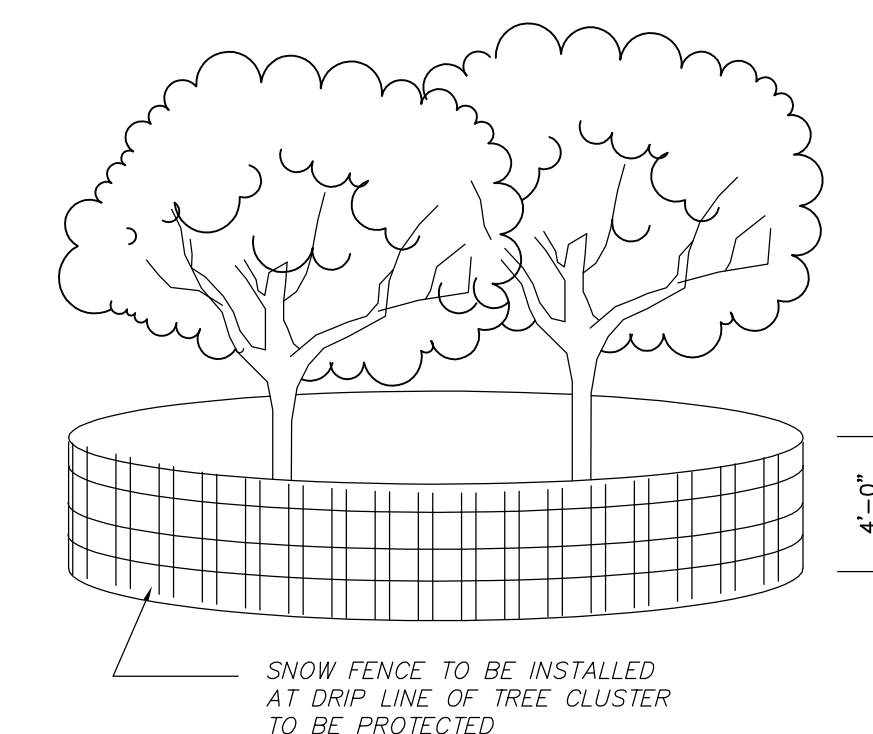
- UNIT SHALL BE CONSTRUCTED OF PRECAST CONCRETE
- CHANNELS TO BE CLASS "C" CONCRETE.
- FRAME AND GRATE TO BE No. 3405 AS MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL.
- PROVIDE 3/4" DIA. ALUMINUM LADDER RUNGS 12" O.C.
- PRECAST UNIT SHALL BE DESIGNED TO AASHTO H-20 LOADINGS.
- WALLS OVER 8 FT. DEEP SHALL BE 12" THICK.
- ALL PIPES TO BE CUT FLUSH WITH BASIN WALL.
- INVERTS ARE TO BE ELIMINATED IN BOTTOM OF TERMINAL INLET.
- BOTTOMS SHALL BE DISHED AND SLOPED TOWARD THE OUTLET.



**INLET TYPE "A"**  
NOT TO SCALE



**SHADE TREE PLANTING DETAIL**  
NOT TO SCALE



**TREE PROTECTION DETAIL**  
NOT TO SCALE



**YANNACCONI  
VILLA  
& ALDRICH, LLC**

460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591

N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE  
OF AUTHORIZATION No. 24627934500

*Candice J. Davis*

**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 246204527000 DATE 10/04/22

NOT VALID WITHOUT SIGNATURE AND RAISED SEAL

1	10/04/22	REISSUE
NO.	DATE	REVISION

PROJECT TITLE :  
**LAWRENCE  
FARM ESTATES  
MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 &  
LOTS 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENDHAM  
MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE  
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE :

**CONSTRUCTION  
DETAIL SHEET**

DRAWN BY:	DATE:
CJD	SEPTEMBER 2, 2022
CHECKED BY:	SCALE:
CJC/D	AS SHOWN

W.O. 222040  
F.B. ----

FILE:  
COMP FILE: M:SEPTIC/.../222040/PLANNINGBOARD/  
PB-details-rev1.dwg



**SOIL EROSION AND SEDIMENT CONTROL NOTES**

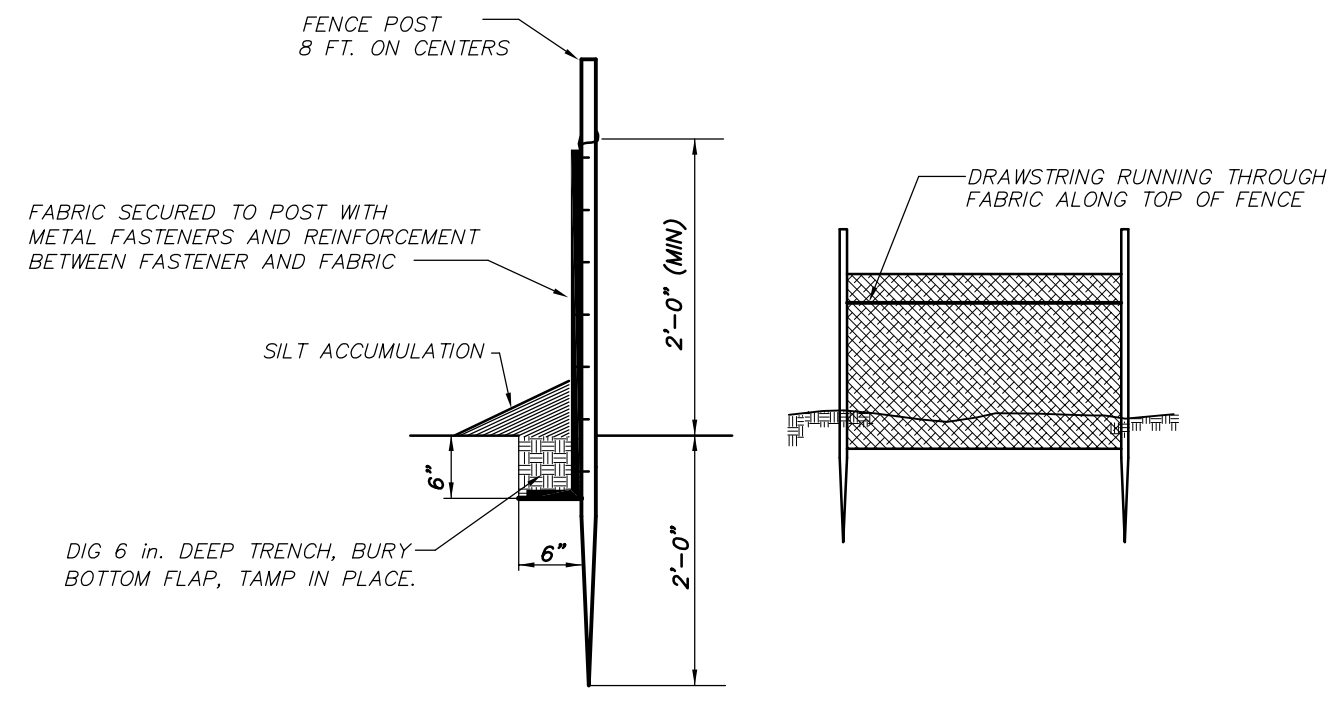
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (SEE #5 AND #6), MULCH NETTING OR LIQUID MULCH BINDER.)
- PERMANENT VEGETATION IS TO BE ESTABLISHED ON EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH IS TO BE USED FOR PROTECTION UNTIL VEGETATION IS ESTABLISHED.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS (STEEP SLOPES, SANDY SOILS, WET CONDITIONS) SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN ACCORDANCE WITH NOTE 21 BELOW.
- TEMPORARY DIVERSION BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS. SEE THE SE&SC STANDARDS.
- PERMANENT SEEDING AND STABILIZATION TO BE IN ACCORDANCE WITH THE "STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION COVER". SPECIFIED RATES AND LOCATIONS SHALL BE ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SO THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES (SILT FENCE, INLET FILTERS, AND SEDIMENT BASINS) WILL BE INSPECTED AND MAINTAINED DAILY.
- STOCKPILES SHALL NOT BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, DRAINAGE FACILITY, OR ROADWAY. ALL STOCKPILE BASES SHALL HAVE A SILT FENCE PROPERLY ENTRENCHED AT THE TOE OF THE SLOPE.
- A STABILIZED CONSTRUCTION ACCESS WILL BE INSTALLED, WHENEVER AN EARTHEN ROAD INTERSECTS WITH A PAVED ROAD. SEE THE STABILIZED CONSTRUCTION ACCESS DETAIL AND CHART FOR DIMENSIONS.
- ALL NEW ROADWAYS WILL BE TREATED WITH SUITABLE SUBBASE UPON ESTABLISHMENT OF FINAL GRADE ELEVATIONS.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- BEFORE DISCHARGE POINTS BECOME OPERATIONAL, ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AS REQUIRED.
- ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHOULD BE COMPOSED OF A FABRIC OR APPROVED MATERIAL. SEE THE SE&SC STANDARDS.
- ALL SEDIMENT BASINS WILL BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 50%. A CLEAN-OUT ELEVATION WILL BE IDENTIFIED ON THE PLAN AND A MARKER INSTALLED ON THE SITE.
- DURING AND AFTER CONSTRUCTION, THE APPLICANT WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF THE DRAINAGE STRUCTURES, VEGETATIVE COVER, AND ANY OTHER MEASURES DEEMED APPROPRIATE BY THE DISTRICT. SAID RESPONSIBILITY WILL PRECLUDE WHEN COMPLETED WORK IS APPROVED BY THE TOWNSHIP ENGINEER.
- ALL TREES OUTSIDE THE DISTURBANCE LIMIT INDICATED ON THE SUBJECT PLAN OR THOSE TREES WITHIN THE DISTURBANCE AREA WHICH ARE DESIGNATED TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH TREE PROTECTION DEVICES. SEE THE TREE PROTECTION DETAIL.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON SITE OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE MORRIS COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
- TOPSOIL STOCKPILE PROTECTION
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS./1000 S.F.
  - APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB./1000 S.F. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 S.F.
  - MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
  - PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.
- TEMPORARY STABILIZATION SPECIFICATIONS
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS./1000 S.F.
  - APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB./1000 S.F. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 S.F.
  - MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- PERMANENT STABILIZATION SPECIFICATIONS
  - APPLY TOPSOIL TO A DEPTH OF 5 INCHES (UNSETTLED).
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SF. AND WORK FOUR INCHES INTO SOIL.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS./1000 S.F.
  - APPLY HARD FESCUE SEED AT 2.7 LBS./1000 S.F. AND CREEPING RED FESCUE SEED AT 0.7 LBS./1000 S.F. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS./1000 S.F.
  - MULCH STOCKPILE WITH STRAW OR HAY AT AT RATE OF 90 LBS./1000 S.F.
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

**DUST CONTROL NOTES**

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCH - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY (SE&SC IN NJ, #5, JULY 1999).
  - VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER (SE&SC IN NJ, #7, JULY 1999), AND PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (SE&SC IN NJ, #4, JULY 1999) AND PERMANENT STABILIZATION WITH SOD (SE&SC IN NJ, #6, JULY 1999).
  - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. SEE SE&SC IN NJ, #16, JULY 1999, FOR DUST CONTROL ADHESIVES.
  - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON WINDWARD SIDE OF SITE BEFORE SOIL BLOWING STARTS. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
  - SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
  - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
  - CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

**TYPICAL SEQUENCE OF CONSTRUCTION: INDIVIDUAL LOTS**

- NOTIFY MUNICIPAL ENGINEER, MORRIS COUNTY SOIL CONSERVATION DISTRICT AND HEALTH DEPARTMENT IN WRITING 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- INSTALL STABILIZED CONSTRUCTION AND SILT FENCE ALONG LINES .....3 days AS INDICATED.
- TREE REMOVAL, CLEARING AND STRIPPING OF DISTURBED AREAS. ....1 week STOCKPILE TOPSOIL. ROUGH GRADE SITE.
- CONSTRUCTION OF DWELLING w/ UTILITY CONNECTIONS. ....6 months
- INSTALL STORMWATER MANAGEMENT BASIN & SEPTIC SYSTEMS.....1 week INSTALL SE&SC MEASURES.
- FINE GRADING. SCARIFY SUBGRADE SOILS TO A DEPTH OF 6" .....1 week PRIOR TO THE APPLICATION OF TOPSOIL. SOIL DE-COMPACTION MEASURES, IF NECESSARY. ADD TOPSOIL, MULCH & SEED.
- INSTALL FINAL PAVEMENT COURSE. ....2 days
- REMOVE SILT FENCE & SE&SC MEASURES WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED.



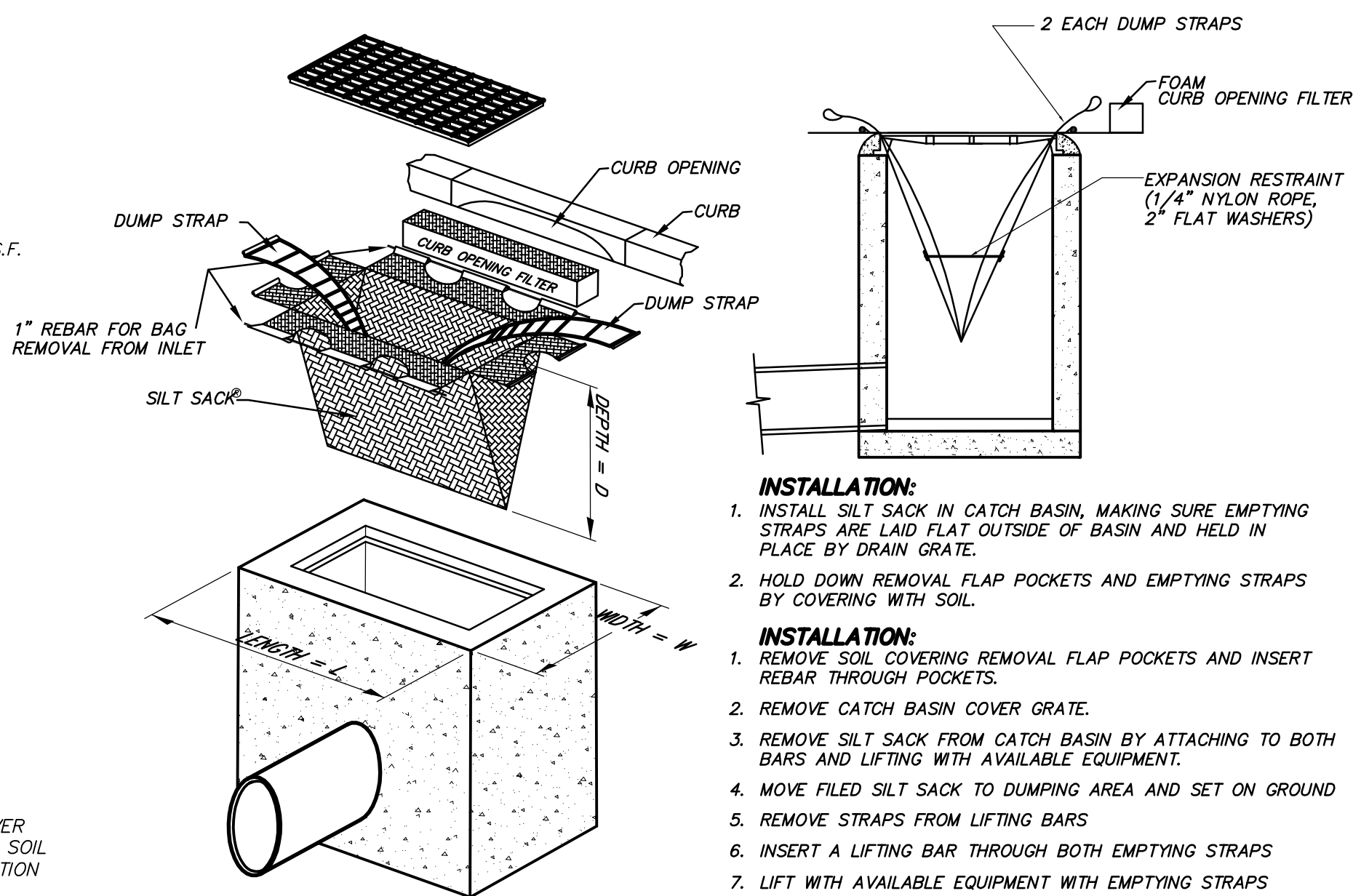
REF.: STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, PAGE 25-4.

**REQUIREMENTS FOR SILT FENCE:**

- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED. IT MUST BE FASTENED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.). PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE.

**SILT FENCE DETAIL**

NOT TO SCALE



CATALOG NUMBER - SILT02X04  
ACF ENVIRONMENTAL-2831 CARDWELL ROAD-RICHMOND, VIRGINIA 23234-(800) 448-3636

**INLET PROTECTION SILT FILTERING SYSTEM**

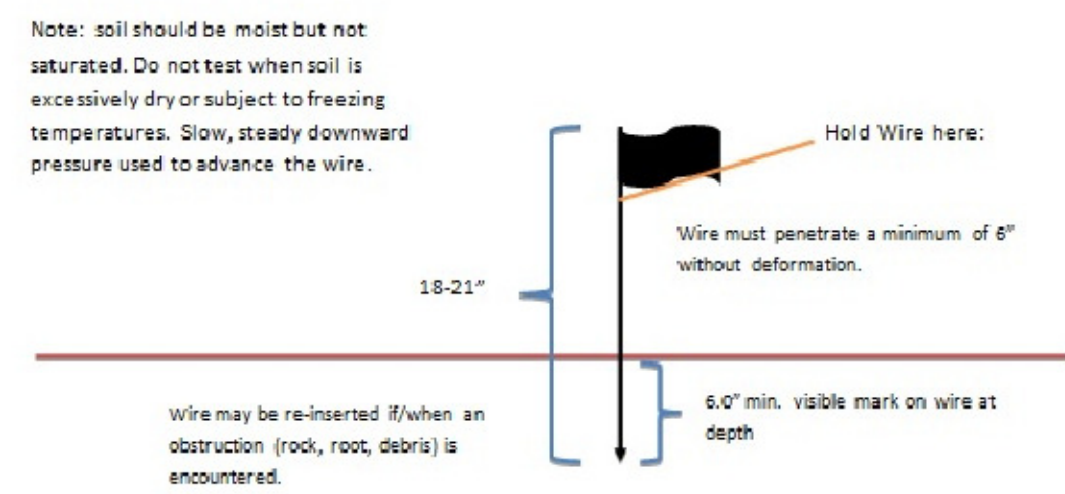
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**LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS**

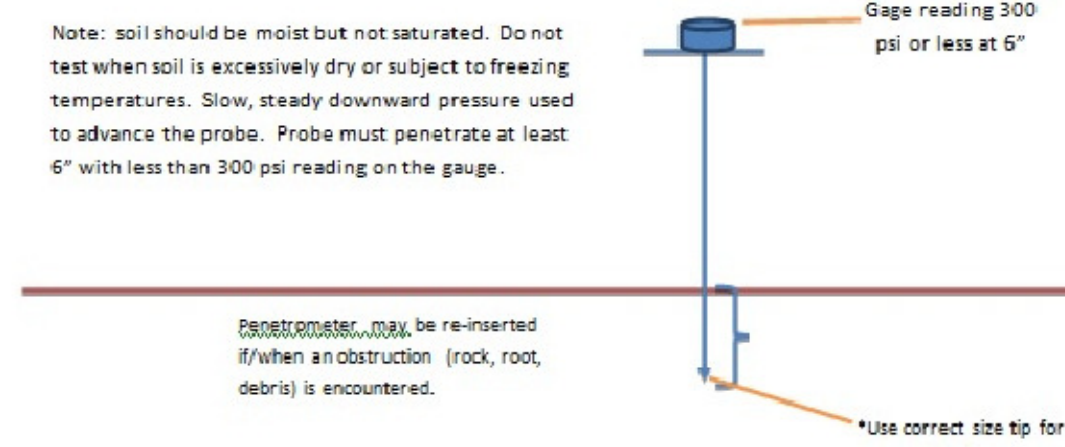
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
>5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COARSE	

**Simplified Testing Methods**

**Probing Wire Test- 15.5 ga steel wire (survey flag)**



**Handheld Soil Penetrometer Test**

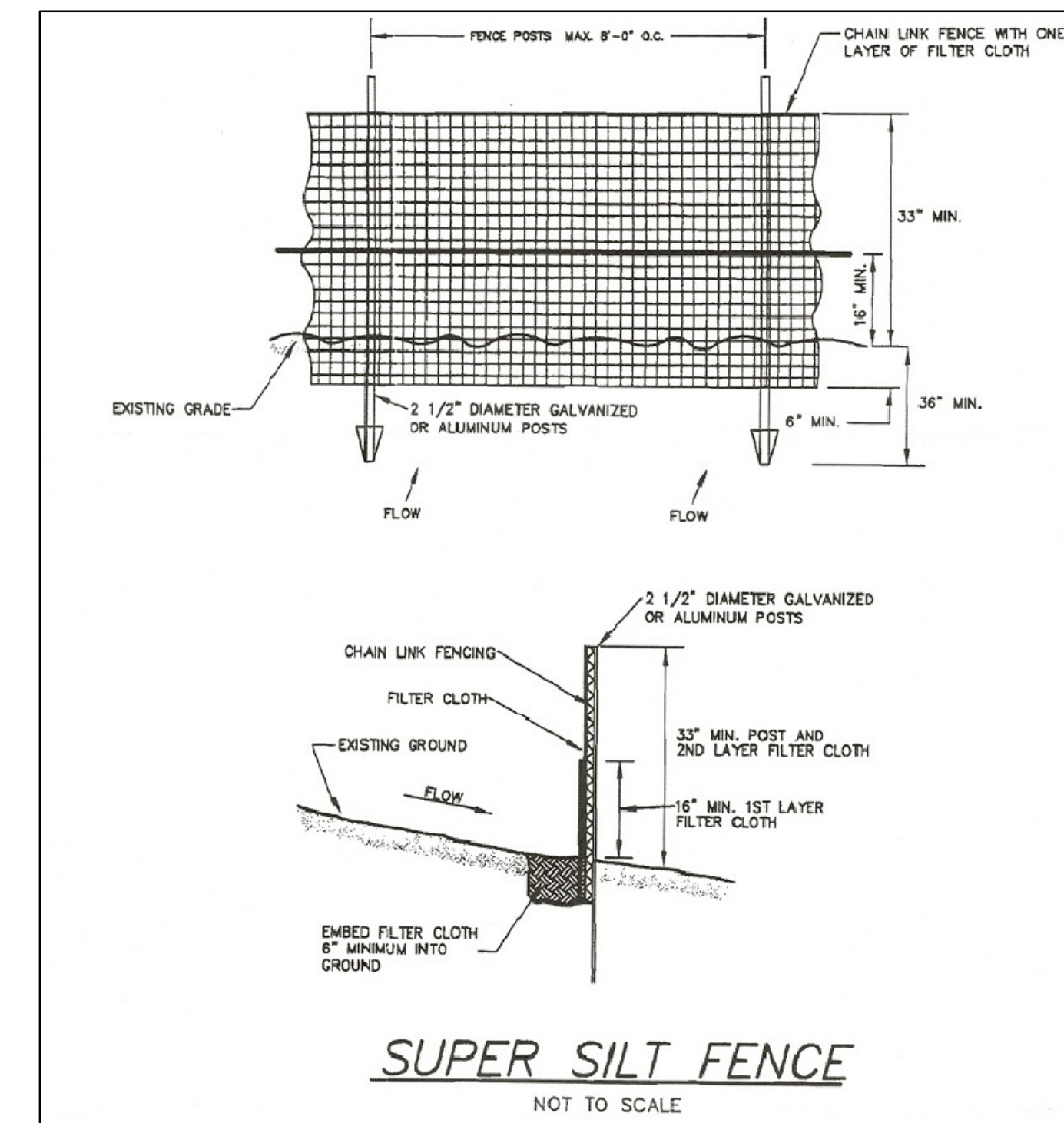
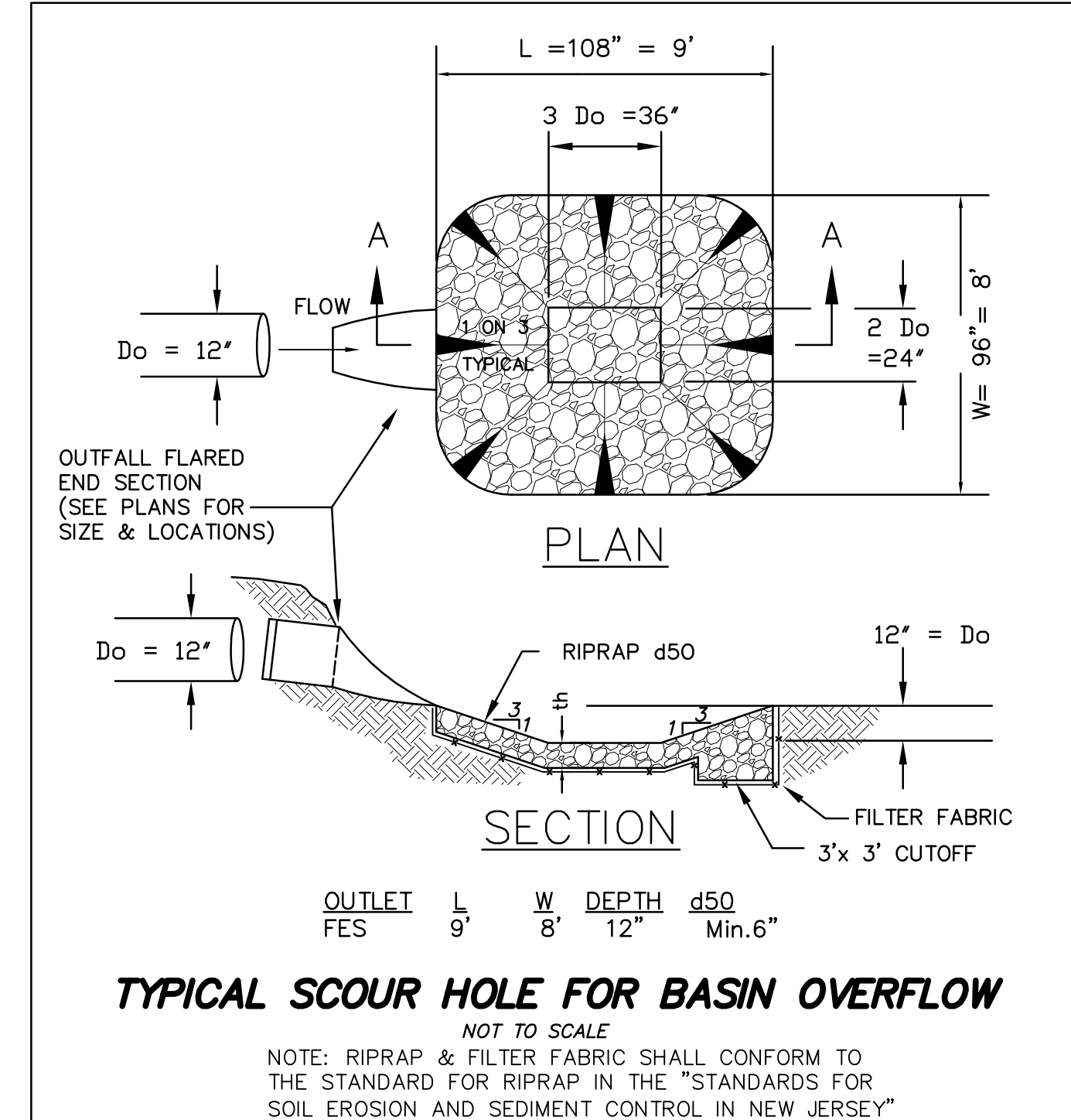
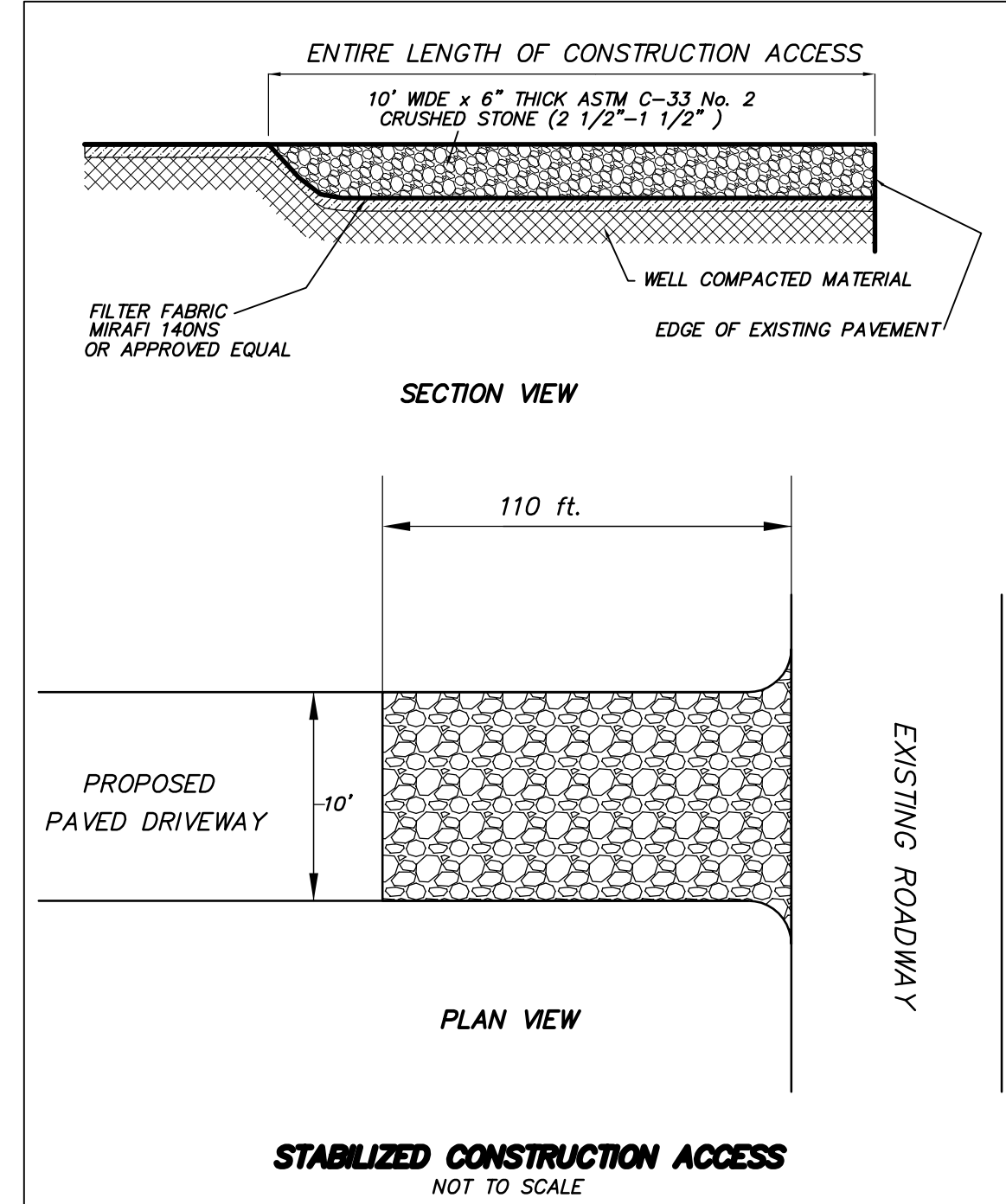


**Procedures for Soil De-Compaction**

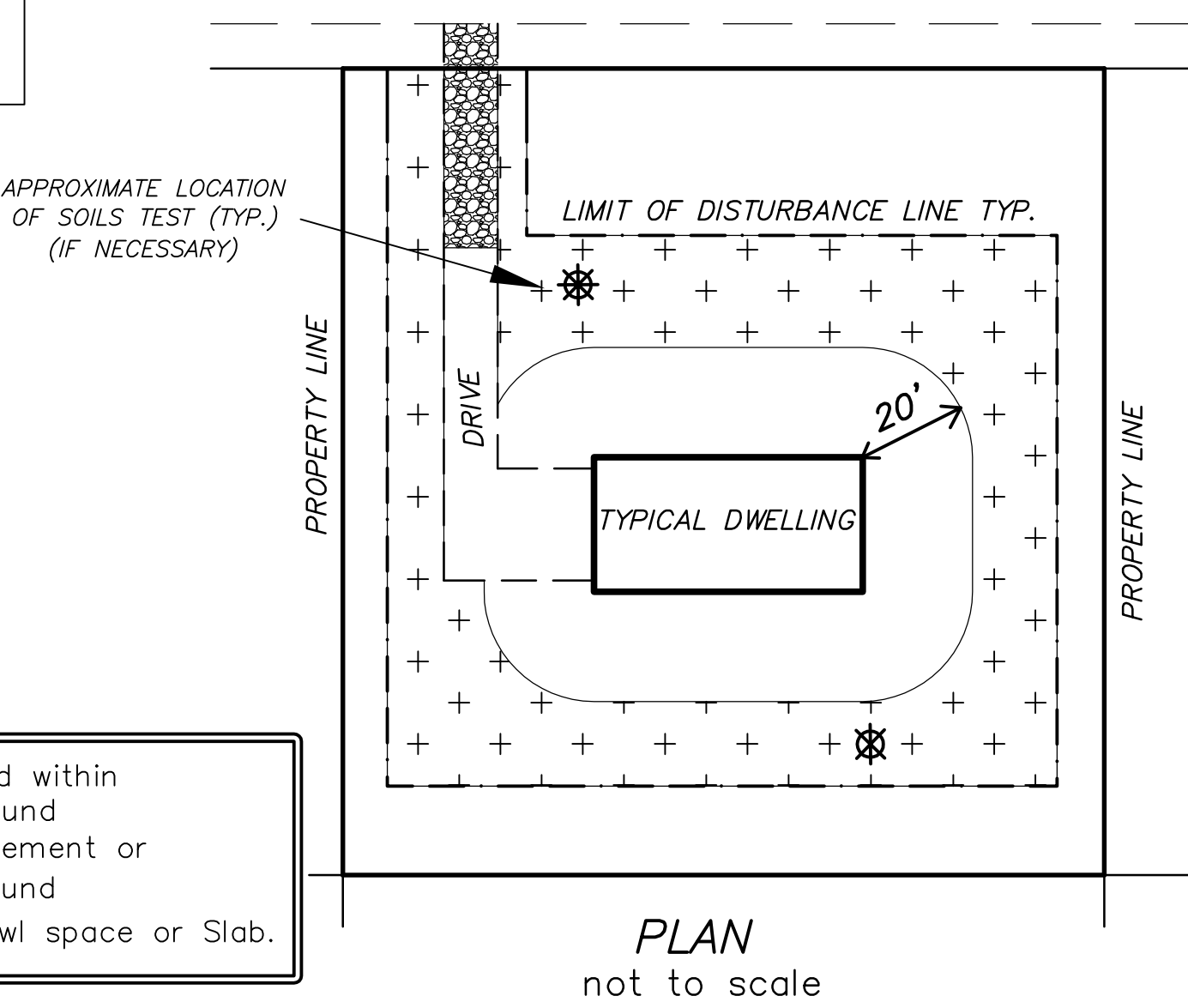
Procedures shall be used to mitigate excessive soil compaction prior to the placement of topsoil and the establishment of permanent vegetative cover. Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer may be substituted with any required testing subject to District Approval.

**LEGEND**

- SOIL COMPACTION RESTORATION/ TESTING AREAS
- RECOMMENDED SOIL TEST (APPROX. 1 PER/.5 AC.)
- Testing not required within 20 ft. Area around Foundation w/ Basement or 12 ft. Area around Foundation w/ Crawl space or Slab.



**TYPICAL SOIL DE-COMPACTION METHOD**



**YANNACCONE VILLA & ALDRICH, LLC**  
Civil Engineers & Land Surveyors  
460 MAIN STREET, P.O. BOX 459  
CHESTER, NEW JERSEY 07930  
PHONE: 908-879-6646  
FAX: 908-879-8591  
N.J. STATE BOARD FOR P.E. & P.L.S. CERTIFICATE OF AUTHORIZATION No. 24G027934500

**CANDICE J. DAVIS**  
N.J. PROFESSIONAL ENGINEER  
NO. 24G024527000 DATE 10/04/22

NO.	DATE	REVISION
1	10/04/22	REISSUE

PROJECT TITLE:  
**LAWRENCE FARM ESTATES MAJOR SUBDIVISION PLANS**  
EXMOOR DRIVE & SUTTON PLACE  
LOTS 42.06, 42.07, 42.08 & 42.12, 42.13, 42.16 ~ BLOCK 147  
TAX MAP SHEET 33  
TOWNSHIP OF MENOHAM MORRIS COUNTY, NEW JERSEY  
LOT 2 ~ BLOCK 8  
TAX MAP SHEET 8  
BOROUGH OF BERNARDSVILLE SOMERSET COUNTY, NEW JERSEY

SHEET TITLE:  
**TYPICAL SOIL EROSION & SEDIMENT CONTROL DETAIL SHEET**

DRAWN BY: CID DATE: SEPTEMBER 2, 2022

CHECKED BY: CID SCALE: AS SHOWN

W.O. 222040  
F.B. ----

FILE:  
COMP FILE: M:SEPTIC/.../222040/PLANNINGBOARD/PB-details-rev1.dwg

SHEET 14 OF 15



