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**TOWNSHIP COMMITTEE
TOWNSHIP OF MENDHAM
BUDGET WORKSHOP
REGULAR MEETING**

DATE: Monday, March 22, 2021

TIME: **6:00 PM Township and Finance Committee Budget Workshop**
7:30 PM Regular Session

LOCATION: **REMOTE VIA ZOOM**

Access link and call-in numbers can be found on the last page of the agenda

www.zoom.us

Click on "Join a Meeting"

Webinar ID: 894 7638 8075

Passcode: 323628

Follow prompts

ROLL CALL

Mr. Baio

Ms. Duarte

Mr. Monaghan

Mr. Orlins

Mayor Neibart

SALUTE TO THE FLAG

STATEMENT OF ADEQUATE NOTICE

Adequate Notice of this meeting of the Township Committee of the Township of Mendham was given as required by the Open Public Meetings Act as follows: Notice was given to the Star Ledger and Daily Record on March 3, 2021. Notice was posted on the bulletin board in the township offices and notice was filed with the Township Clerk.

6:00 PM - Budget Workshop: The Township Committee and Finance Committee will host a Budget Workshop in preparation for the 2021 budget.

7:30 PM - Regular Session: The Township Committee will meet at 7:30 PM for their regularly scheduled meeting.



**TOWNSHIP COMMITTEE
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Mr. Baio
Ms. Duarte
Mr. Monaghan
Mr. Orlins
Mayor Neibart

SALUTE TO THE FLAG

STATEMENT OF ADEQUATE NOTICE

Adequate Notice of this meeting of the Township Committee of the Township of Mendham was given as required by the Open Public Meetings Act as follows: Notice was given to the Observer Tribune and Daily Record on January 6, 2021. Notice was posted on the bulletin board in the township offices and notice was filed with the Township Clerk.

RECOGNIZING NEW MEMBERS

Brandon Mccurdy has applied to be a Member of the Ralston Engine Company No. 1.

PRESENTATION

ENVIRONMENTAL COMMISSION ANNUAL REPORT - 2020

COVID-19 UPDATE

ANNOUNCEMENTS

OPEN TO THE PUBLIC

Please state your name and address for the record. Speakers are asked to limit their comments to 5 minutes.

*Zoom Attendees: If you wish to make a comment, please click 'Raise hand' in the webinar controls. If you join the webinar by phone, **dial *9** to raise your hand.*

REGULAR AGENDA

- 2021-069** Resolution of the Township Committee of the Township of Mendham Authorizing 2020 Budget Appropriation Transfer
- 2021-070** Resolution of the Township Committee of the Township of Mendham Authorizing Refund of Overpayment of Taxes Due to NJ State Tax Court Judgement
- 2021-071** Resolution of the Township Committee of the Township of Mendham Supplementing the Professional Services Contract with Cornerstone Architectural Group for Additional Services to Determine the Physical Conditions of the Existing Windows in Town Hall
- 2021-072** Resolution of the Township Committee of the Township of Mendham Providing for a Meeting not Open to the Public in Accordance with the Provisions of the New Jersey Open Public Meetings Act, N.J.S.A. 10:4-12
- 2021-073** Resolution of the Township Committee of the Township of Mendham Authorizing the Award of a Competitive Bidding Contract to Wicklow & Laurano Excavating of Mendham Township for Construction of the Pitney Farms Park
- 2021-074** Resolution of the Township Committee of the Township of Mendham Authorizing the Award of a Competitive Bidding Contract to ADS Contractors of Pittstown, New Jersey for Drainage and ADA Improvements to Cold Hill and Woodland Roads
- 2021-075** Resolution of the Township Committee of the Township of Mendham Authorizing the Award of a Competitive Bidding Contract to Father Daughter LLC of Long Valley, New Jersey for Baseball Infield Maintenance
- 2021-076** Resolution of the Township Committee of the Township of Mendham Authorizing the Payment of Bills

ORDINANCE FOR FIRST READING / INTRODUCTION

- 05-2021** An Ordinance of the Township Committee of the Township of Mendham Amending the Stormwater Control Ordinance
Public Hearing scheduled for April 12, 2021

ORDINANCE FOR SECOND READING / PUBLIC HEARING

- 04-2021** An Ordinance of the Township of Committee of the Township of Mendham Supplementing Chapter 10 of the Code of Ordinances, Administration of Government, to Establish a New Subsection 10-48 Mendham East and West Water Pollution Control System Advisory Committee
Ordinance was introduced on March 8, 2021

OPEN TO THE PUBLIC

Please state your name and address for the record. Speakers are asked to limit their comments to 5 minutes.

*Zoom Attendees: If you wish to make a comment, please click 'Raise hand' in the webinar controls. If you join the webinar by phone, **dial *9** to raise your hand.*

DISCUSSION

- Reassessment Proposal
- Facilities Report:
 1. Cornerstone Contract - Police Station - Scope of Services
 2. Sewer Service for 4 West Main
 3. Town Hall Status (see window issue under Resolutions)
- Sewer Engineer for Sewer Utilities

LIAISON REPORTS

COMMITTEE MEMBER BAIO

- *Construction*
- *Fire Department*
- *Historic Preservation*
- *Planning Board*
- *Zoning Board*
- *Police Station Design*
- *Pitney Park*

COMMITTEE MEMBER DUARTE

- *Environmental Commission*
- *First Aid Squad*
- *Mendham Sewer East & West*
- *Mendham TV*
- *Shared Court*
- *Stigma-Free Initiative*
- *Ad Hoc Marketing Committee*

COMMITTEE MEMBER MONAGHAN

- *Public Works, Department*
- *Health, Board*
- *Library*
- *Police*
- *Surrounding Town Outreach*
- *Wildlife Management*
- *Pitney Park*

COMMITTEE MEMBER ORLINS

- *Finance Committee*
- *Mendham Township School District*
- *Recreation Committee*
- *Surrounding Town Outreach*
- *Tax Assessor*

MAYOR NEIBART

- *Finance Committee*
- *Mendham Sewer East & West*
- *Police*
- *Recreation Committee*
- *Regional School District*
- *Tree Committee*
- *Police Station Design*
- *Emergency Management*

ADJOURN

RESOLUTION 2021-069
RESOLUTION OF THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM
AUTHORIZING 2020 BUDGET APPROPRIATION TRANSFER

BE IT RESOLVED, by the Township Committee of the Township of Mendham, County of Morris and State of New Jersey, that 2020 Budget Appropriations Transfer totaling **\$119,000** are to be made in the following manner:

FROM:	AMOUNT
General Administration, Salary and Wages	\$6,000
Board of Health, Other Expenses	\$1,000
Maintenance of Parks, Other Expenses	\$2,000
Insurance – Employee Group Insurance	\$100,000
TOTAL	\$119,000
TO:	AMOUNT
General Administration, Other Expenses	\$6,000
Board of Health, Salary and Wages	\$1,000
Board of Recreation Commissioners, Salary and Wages	\$1,000
Board of Recreation Commissioners, Other Expenses	\$1,000
Capital Improvement Fund	\$100,000
TOTAL	\$119,000

NOW, THEREFORE, BE IT RESOLVED, by the Township of Mendham, (not less than two thirds of all members thereof affirmatively concurring) that in accordance with provision N.J.S.A. 40A:4-59, part of the surplus in the accounts heretofore mentioned be and the same is hereby transferred to the accounts mentioned as being insufficient and directs the Chief Financial Officer to execute this transfer transaction.

Adopted: March 22, 2021

Attest:

TOWNSHIP OF MENDHAM,
COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

CERTIFICATION: I, Maria F. Coppinger, Clerk of the Township of Mendham, County of Morris, State of New Jersey, do hereby certify the foregoing to be a true and exact copy of a resolution adopted by the Mendham Township Committee at a meeting held on March 22, 2021.

Maria F. Coppinger, Township Clerk

RESOLUTION 2021-070
RESOLUTION OF THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM
AUTHORIZING REFUND OF OVERPAYMENT OF TAXES DUE TO NJ STATE TAX COURT JUDGMENT

WHEREAS, the Tax Collector has certified to the Township of Mendham that a payment be refunded due to an overpayment of taxes as a result of NJ State Tax Court Judgments; and

WHEREAS, the Governing Body has reviewed said certification and approved the same; and

WHEREAS, the refund should not be issued before the 45th day after judgment but needs to be issued by the 60th day, and since this timing does not coincide with meeting dates, the Tax Collector is to hold the check until the appropriate mailing time.

NOW, THEREFORE, BE IT RESOLVED by the Township Committee of the Township of Mendham, being the Governing Body thereof that payment is refunded as follows:

Block & Lot & Qualifier	Refund to:	Amount:
Block 147 Lot 34 4 Manor Hill Dr	Brian & Sally Monahan 4 Manor Hill Dr Mendham, NJ 07945	\$12,459.75
Block 127 Lot 78.07 5 Queens Ct	Kevin S. Englert, Esq for Arjay/Ranjini Poddar 58 Livingston Ave Dover, NJ 07801	\$15,377.90
Block 116 Lot 9.06 6 Combs Hollow Rd	Jennifer R. Jacobus, Trustee for De Santis, Giuseppe/Bakun, Romanna 201 Littleton Rd, Suite 100 Morris Plains, NJ 07950	\$4,125.32
Block 127 Lot 94.03 17 Wilrich Glen	Wolf Vespasiano LLC Attorney Trust Account and Christopher Gagnon 331 Main Street Chatham, NJ 07928	\$6,047.25
Block 127 Lot 86 18 School House Ln	Valerie Hofer, Esq Trust Account for Fredric Berman PO Box 787 Montville NJ 07045	\$12,734.36
Block 142 Lot 30 11 Thackery Ln	Spiotti & Associates, PC Attorney Trust Account for Joyce Maglione 271 US Highway 46 Suite F105 Fairfield, NJ 07004-2471	\$3,764.45
Block 123 Lot 27 2 Dukes Ct	Irwin & Heinze, PA Attorney Trust Account for Peter & Linda Bracuti 383 Main Street, Suite 101 Chatham, NJ 07928	\$1,825.17

Adopted: March 22, 2021

Attest:

TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

RESOLUTION 2021--071

RESOLUTION OF THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM SUPPLEMENTING THE PROFESSIONAL SERVICES CONTRACT WITH CORNERSTONE ARCHITECTURAL GROUP FOR ADDITIONAL SERVICES TO DETERMINE THE PHYSICAL CONDITIONS OF THE EXISTING WINDOWS IN TOWN HALL

WHEREAS, through Resolution 2020--213, the Township of Mendham appointed Cornerstone Architectural Group to prepare the plans and specifications for the renovation of the Township Town Hall facility; and

WHEREAS, it has been determined that for the exterior renovation to proceed, the Township must obtain the approval of the State Office of Historic Preservation; and

WHEREAS, Cornerstone Architectural Group has meet on several occasions with the SHPO and the SHPO is requiring the submission of additional analysis of the existing conditions of the existing windows in the facility; and

WHEREAS, the required additional investigation is outside the scope of the existing contract with Cornerstone Architectural Group and it is necessary to amend the original contract to reflect this additional work; and

WHEREAS, the Chief Financial Officer has certified as to the availability of funds pursuant to *N.J.A.C. 5:30-5.4*, said funds to be encumbered from Bond Ordinance 2020-12.

NOW THEREFORE, BE IT RESOLVED that the Mayor and Township Committee of the Township of Mendham, County of Morris, State of New Jersey authorizes the Mayor and the Township Clerk to enter into Amendment #1 to the contract with Cornerstone Architectural Group for the renovation of the Towns Hall for exploratory work and related report on a time and material basis in an amount not to exceed \$8,750 as set forth in the attached Additional Services Request #5.

BE IT FURTHER RESOLVED that the contract, resolution and all other pertinent documents shall remain on file in the office of the Township Clerk.

Adopted: March 22, 2021

Attest:

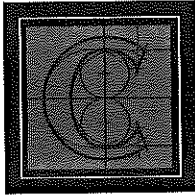
TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

CERTIFICATION I, Maria F. Coppinger, Township Clerk of the Township of Mendham, do hereby certify the foregoing resolution was duly adopted by the Township Committee at a Regular Meeting held on March 22, 2021.

Maria F. Coppinger, Township Clerk



CORNERSTONE
ARCHITECTURAL GROUP, LLC

ADDITIONAL SERVICES REQUEST NO. 5

To Owner: TOWNSHIP OF MENDHAM 2 West Main Street Brookside, New Jersey 07926 Attention: Bob Casey Interim Administrator	Date: 12 March 2021
	Project Number: 202547:12
	Project Name: Town Hall Restoration Project
	ASR Name: Exterior Window Study for Historic Preservation Office Approval

By signature below, the Owner hereby authorizes Cornerstone Architectural Group, LLC, to provide the Additional Services described below in connection with the project referenced above. This request is subject to the terms and conditions of the Scope of Work Agreement dated, 8 May 2020.

DESCRIPTION OF ADDITIONAL SERVICES

Provide a written report that demonstrates the need for window replacement (in lieu of window repair) to be submitted for approval by the State Historic Preservation Office. Study to be conducted in accordance with the federal guidelines (copy attached for reference).

Perform a detailed visual investigation of the overall condition and operation of the windows sash within the original portion of the historic Town Hall building. This includes both the exterior face and the interior face of the windows. Township to provide use of bucket truck for Architect's use to access the exterior windows.

- Prep – 1 hour
- Review Windows (14 Banks) – 14 x 1 hour = 14 hours
- Detail Study (7 Different Banks) – 7 x 2 hours = 14 hours
- Movement of the Bucket Truck – 7 x 15 minutes = 2 hours
- Drawings – 10 hours
- Report – 8 hours
- Coordination with State Historic Preservation Office – 1 hour

BASIS OF COMPENSATION

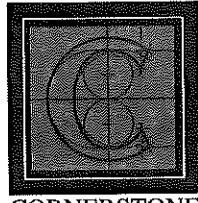
Billed on a Time and Materials basis and estimated to be a fee of **\$8,750.00.**

ROBERT F. BARRANGER, AIA ROBERT M. LONGO, AIA MICHAEL G. SORIANO, AIA
NJ License No. 21A101078900 NJ License No. 21A101083700 NJ License No. 21A100888700

202 HAMILTON BOULEVARD SOUTH PLAINFIELD, NJ 07080

TELEPHONE: 908.753.7004 FACSIMILE: 908.753.0202

WWW.CORNERSTONEAG.COM



CORNERSTONE
ARCHITECTURAL GROUP, LLC

ACCEPTED BY

Cornerstone will only begin work upon return of one (1) signed original of this Form.

Work in progress by Cornerstone.

Architect

Robert F. Barranger, AIA

12 March 2021

Date

Owner

Print name and title

Signature

Date

SCHEDULE

Field work – 1 week

Draft report – 1 week

Draft drawings – 1 week

Final report complete – 1 week

Technical Preservation Services



[Home](#) > [The Standards](#) > [Applying Rehabilitation Standards](#) > [Successful Rehabilitations](#) > Evaluating Windows

Planning Successful Rehabilitation Projects

[Acquired Significance and Standard 4](#)

[Continued Historic Use and Standard 1](#)

Windows

Evaluating Historic Windows for Repair or Replacement

[Replacement Windows that Meet the Standards](#)

[Documentation Requirements for Proposed Window Replacement](#)

Interior treatments

[Identifying Primary and Secondary Interior Spaces in Historic Buildings](#)

[Changing Secondary Interior Spaces in Historic Buildings](#)

[Historically-Finished Secondary Spaces—Avoiding Problematic Treatments at Project Completion](#)

[Subdividing Assembly Spaces in Historic Buildings](#)

[Retaining Corridors and Other Circulation Spaces in Historic Buildings](#)

[Interior Spaces, Features, and Materials in Highly Deteriorated Condition and Standard 2](#)

New additions and related new construction

[New Additions to Historic Buildings](#)

[New Construction within the Boundaries of Historic Properties](#)

Modern requirements and new technologies and materials

[Codes and Regulatory Requirements for Rehabilitating Historic Buildings](#)

[Energy Efficiency, Sustainability, and Green Building Practices in Historic Buildings](#)

[Evaluating Substitute Materials in Historic Buildings](#)

Evaluating Historic Windows for Repair or Replacement

Determinations concerning the treatment of historic windows begin with Standard 6 of the [Secretary of the Interior's Standards for Rehabilitation](#): "Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence."

Repair should be the first option considered. Repair can include renewal of finishes, material repair using epoxies, replacement of component parts and additions such as weather stripping. While it may be possible to repair even severely deteriorated windows, repair of deterioration beyond a certain level is not practical or reasonable and replacement becomes the appropriate treatment.

The Standards also require, "The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided." While most windows are significant to the character of a property, every window on all properties is not, and it is in these cases that considerations beyond deterioration as described below are appropriate.

Documentation of deterioration

Determination as to when deterioration is sufficiently severe to justify replacement must be based on documentation of the condition of the windows. What constitutes effective documentation may vary with the circumstances of the project, but at minimum must include enough good quality photographs to clearly depict the full range of conditions. When a project involves a great many deteriorated windows, general quantification of the specific aspects of the deterioration may substitute for photographs and descriptions of every window. A full window survey should only be needed in limited instances.

Questions about the feasibility of repair or the quality of the repaired window can usually be best answered by doing a sample repair. The appearance, the cost of the repair, and other factors may be considered. Where particular performance levels are critical, testing of the repaired window may provide information useful in evaluating the viability of repair.

Considerations beyond deterioration

While condition is the primary determinant in decisions regarding the treatment of historic windows, the importance of the windows to the historic character of the building can also be taken into account. The design and location of windows and their relationship to the design of the building can affect their role in the character of a building. Windows that are distinctive features or exemplify fine craftsmanship are more critical to retain and repair than those that play a lesser supporting role in the design of the building or are simple manufactured units. The more important the elevation, feature or space of which the windows are a part, the more important it is to retain the historic windows.

While factors including occupant operation, presence of hazardous materials, code requirements, or energy performance, if taken individually, are not reasons to replace windows, they may be issues to consider in conjunction with deterioration in establishing a need for window replacement. In many cases these requirements can be met without losing the historic windows. For example, studies have shown that the energy performance of historic windows can be significantly improved by adding storm windows and weatherstripping or by replacing the glazing or the sash.

The number of windows being replaced is a consideration that may allow for window replacement that does not depend on deterioration. It may be possible that the replacement of a few windows may have only an inconsequential effect on the character of an elevation with many windows. Thus, where a need such as egress can be achieved with little change to the appearance of the building, a few windows may be replaced irrespective of their condition.

Some areas have code requirements in response to severe weather conditions. Mandates such as impact resistance may make it impossible for a building to have any compliant occupancy with the historic windows in place, particularly on taller buildings. In these cases, replacement of the historic windows will not be dependent on documentation of deterioration.



Technical Preservation Services



[Home](#) > [The Standards](#) > [Applying the Rehabilitation Standards](#) > [Successful Rehabilitations](#) > Replacement Windows

Planning Successful Rehabilitation Projects

[Acquired Significance and Standard 4](#)

[Continued Historic Use and Standard 1](#)

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[Evaluating Historic Windows for Repair or Replacement](#)

Replacement Windows that Meet the Standards

[Documentation Requirements for Proposed Window Replacement](#)

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Replacement Windows that Meet the Standards

The decision-making process for selecting replacement windows divides into two tracks depending on whether historic windows remain in place or no historic windows survive.

Replacement of Existing Historic Windows

When historic windows exist, they should be repaired when possible. When they are too deteriorated to repair, selection of the replacement windows must be guided by **Standard 6**. Design, visual qualities, and materials are specific criteria provided by the Standard that are pertinent to evaluating the match of a replacement window. Evaluating the adequacy of the match of the replacement window involves the consideration of multiple issues.

How accurate does the match need to be?

The more important a window is in defining the historic character of a building the more critical it is to have a close match for its replacement. Location is a key factor in two ways. It is usually a consideration in determining the relative importance of a building's various parts. For example, the street-facing facade is likely to be more important than an obscured rear elevation. The more important the elevation, feature or space of which the window is a part, the more important the window is likely to be, and thus, the more critical that its replacement be a very accurate match. Secondly, the location of the window can affect how much of the window's features and details are visible. This will affect the nature of an acceptable replacement. For example, windows at or near ground level present a different case from windows in the upper stories of a tall building.

Using the hierarchy of a building's features and taking into account the window's visibility, some general guidance can be drawn.

- Replacement windows on primary, street-facing or any highly visible elevations of buildings of three stories or less must match the historic windows in all their details and in material (wood for wood and metal for metal).
- Replacement windows on the primary, street-facing or any highly visible elevations that are part of the base of high-rise buildings must match the historic windows in all their details and in material (wood for wood and metal for metal). The base may vary in the number of stories, but is generally defined by massing or architectural detailing.
- Replacement windows on the primary, street-facing or highly visible elevations of tall buildings above a distinct base must match the historic windows in size, design and all details that can be perceived from ground level. Substitute materials can be considered to the extent that they do not compromise other important visual qualities.
- Replacement windows on secondary elevations that have limited visibility must match the historic windows in size, configuration and general characteristics, though finer details may not need to be duplicated and substitute materials may be considered
- Replacement windows whose interior components are a significant part of the interior historic finishes must have interior profiles and finishes that are compatible with the surrounding historic materials. However, in most cases, the match of the exterior of a replacement window will take precedence over the interior appearance.
- Replacement windows in buildings or parts of buildings that do not fit into any of the above categories must generally match the historic windows in all their details and in material (wood for wood and metal for metal). Variations in the details and the use of substitute materials can be considered in individual cases where these differences result in only minimal change to the appearance of the window and in no change to the historic character of the overall building.

How well does the new window need to match the old?

The evaluation of the match of a replacement window depends primarily on its visual qualities. Dimensions, profiles, finish, and placement are all perceived in relative terms. For example, an eighth of an inch variation in the size of an element that measures a few inches across may be imperceptible, yet it could be more noticeable on the appearance of an element that is only half an inch in size. The depth of a muntin or the relative complexity of a brick mold profile are more often made visually apparent through the shadows they create. Thus, while comparable drawings are the typical basis for evaluating a replacement window, a three-dimensional sample or mock-up provides the most definitive test of an effective visual match.

The way a historic window operates is an important factor in its design and appearance. A replacement window, however, need not operate in the same manner as the historic window or need not operate at all as long as the change in operation does not change the form and appearance of the window to the point that it does not match the historic window or otherwise impair the appearance and character of the building.

Factors to consider in evaluating the match of a replacement window

- **Window unit placement in relation to the wall plane;** the degree to which the window is recessed into the wall. The location of the window affects the three-dimensional appearance of the wall.
- **Window frame size and shape.** For example, with a wood window, this would include the brick mold, blind stop, and sill.

- The specific profile of the brick mold is usually less critical than its overall complexity and general shape, such as stepped or curved.
- Typical sight lines reduce the importance of the size and profile of the sill on windows high above ground level, especially when the windows are deeply set in the wall.
- Though a blind stop is a small element of the overall window assembly, it is a noticeable part of the frame profile and it is an important part of the transition between wall and glass.
- Steel windows that were installed as a building's walls were constructed have so little of their outer frame exposed that any replacement window will necessitate some addition to this dimension, but it must be minimal.
- **Glass size and divisions.** Muntins reproduced as simulated divided lights – consisting of a three-dimensional exterior grid, between-the-glass spacers, and an interior grid – may provide an adequate match when the dimensions and profile of the exterior grid are equivalent to the historic muntin and the grid is permanently affixed tight to the glass.
- **Sash elements width and depth.** For example with a wood window, this would include the rails, stiles and muntins; with a steel window, this would include the operator frame and muntins.
 - The depth of the sash in a double-hung window, or its thickness, affects the depth of the offset at the meeting rail of a hung window. This depth is perceived through the shadow that it creates.
 - Because of its small size, even slight differences in the dimension of a muntin will have a noticeable effect on the overall character of a window. Shape, as well as depth, is important to the visual effect of a muntin.
 - The stiles of double-hung historic windows align vertically and are the same width at the upper and lower sashes. The use of single-hung windows as replacements may alter this relationship with varying effects on the appearance of a window. In particular, when the distinction between the frame and the sash is blurred, details such as lugs may be impossible to accurately reproduce.
 - Meeting rails of historic windows were sometimes too narrow to be structurally sound. Reproducing a structurally-inadequate condition is not required.
 - The operating sash of a steel window is usually wider than the overall muntin grid of the window. In addition, the frame of the operating sash often has slight projections or overlaps that vary from the profile of the surrounding muntins. The shadow lines the muntins create add another important layer to the three-dimensional appearance of the window.
- **Materials and finish.**
 - While it may be theoretically possible to match all the significant characteristics of a historic window in a substitute material, in actuality, finish, profiles, dimensions and details are all affected by a change in material.
 - In addition to the surface characteristics, vinyl-clad or enameled aluminum-clad windows may have joints in the cladding that can make them look very different from a painted wood window.
 - Secondary window elements that do not match the finish or color of the window can also diminish the match. Examples include white vinyl tracks on dark-painted wood windows or wide, black, glazing gaskets on white aluminum windows.
- **Glass characteristics.**
 - Insulated glass is generally acceptable for new windows as long as it does not compromise other important aspects of the match.
 - The clarity and reflectivity of standard clear window glass are significant characteristics of most windows. Because these characteristics are often diminished for old glass, new glass equivalent to the original should be the basis for evaluating the glazing proposed for new windows. Color should only be a noticeable characteristic of the new glass where it was historically, and any coating added must not perceptibly increase the reflectivity of the glass.

- Where the glazing is predominantly obscure glass, it may be replaced with clear glass, but some evidence of the historic glazing must be retained, either in parts of windows or in selected window units.

Replacement Windows Where No Historic Windows Remain

Replacement windows for missing or non-historic windows must be compatible with the historic appearance and character of the building. Although replacement windows may be based on physical or pictorial documentation, if available, recreation of the missing historic windows is not required to meet the **Standards**. Replacement of missing or non-historic windows must, however, always fill the original window openings and must be compatible with the overall historic character of the building. The general type of window – industrial steel, wood double-hung, etc. – that is appropriate can usually be determined from the proportions of the openings, and the period and historic function of the building. The appearance of the replacement windows must be consistent with the general characteristics of a historic window of the type and period, but need not replicate the missing historic window. In many cases, this may be accomplished using substitute materials. There may be some additional flexibility with regard to the details of windows on secondary elevations that are not highly visible, consistent with the approach outlined for replacing existing historic windows. Replacing existing incompatible, non-historic windows with similarly incompatible new windows does not meet the Standards.



nps.gov

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Documentation Requirements for Proposed Window Replacement

Property owners are encouraged to repair and retain existing historic windows. Yet, there are projects where replacement of the existing windows is an appropriate treatment. In order to review proposed replacement windows for conformance with the Secretary of the Interior's Standards for Rehabilitation, the State Historic Preservation Office and the National Park need the following minimum documentation:

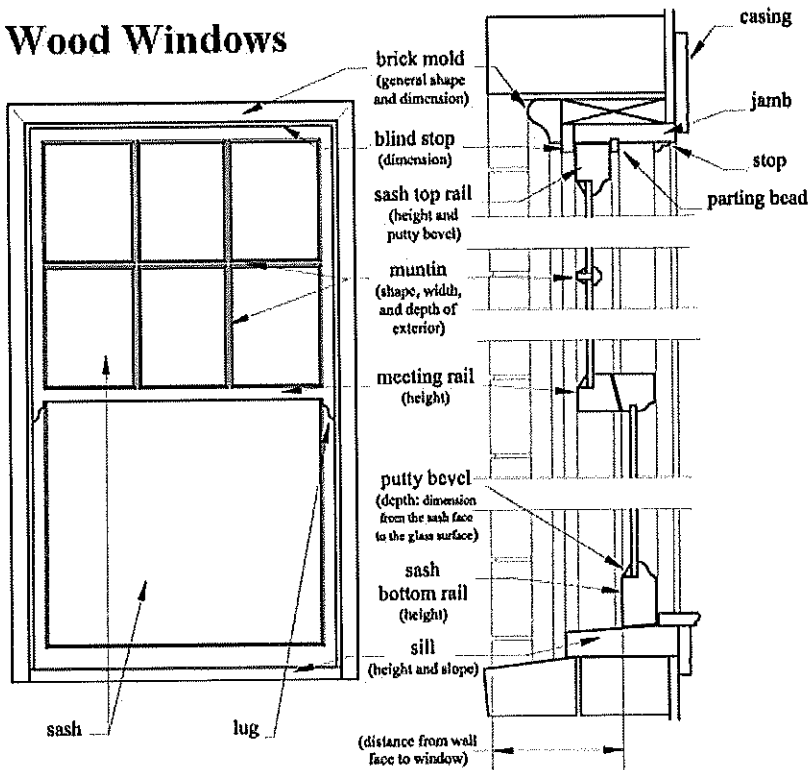
- Clear photographs of existing windows. When windows are boarded over, remove boards from typical windows in order to take photographs.
- Drawings showing the elevation and horizontal and vertical sections of existing historic windows. Include muntins, mullions, transoms, and other window components. For historic steel industrial windows that contain operable units, drawings must include this feature.
- Drawings showing the elevation and horizontal and vertical sections of proposed replacement windows. In the case of a hung window, provide section drawings of both the upper and lower sash, including meeting rail. For replacement steel windows, include sections of both operable and fixed units. See note below regarding manufacturers' standard cut sheets.

Drawings should be at the same scale and large enough to clearly show construction details. Scale should be provided, measurements noted, and materials indicated for the main components of the window. Drawings of the existing historic window should be accurate, based on field measurements. See examples of drawings for wood and industrial steel windows below. [Download the drawings for easy reference.](#)

Replacement windows must accurately replicate the appearance of existing historic windows. Manufacturers' standard cut sheets usually are not an adequate substitute for detailed drawings since they are not drawn specifically for the proposed window replacement and do not show custom applications or installation details required for the project. In small projects where windows are being replaced and the historic or existing window is simple in design, manufacturers' standard cut sheets may be substituted for actual section drawings of the proposed window provided there is sufficient detail for review.

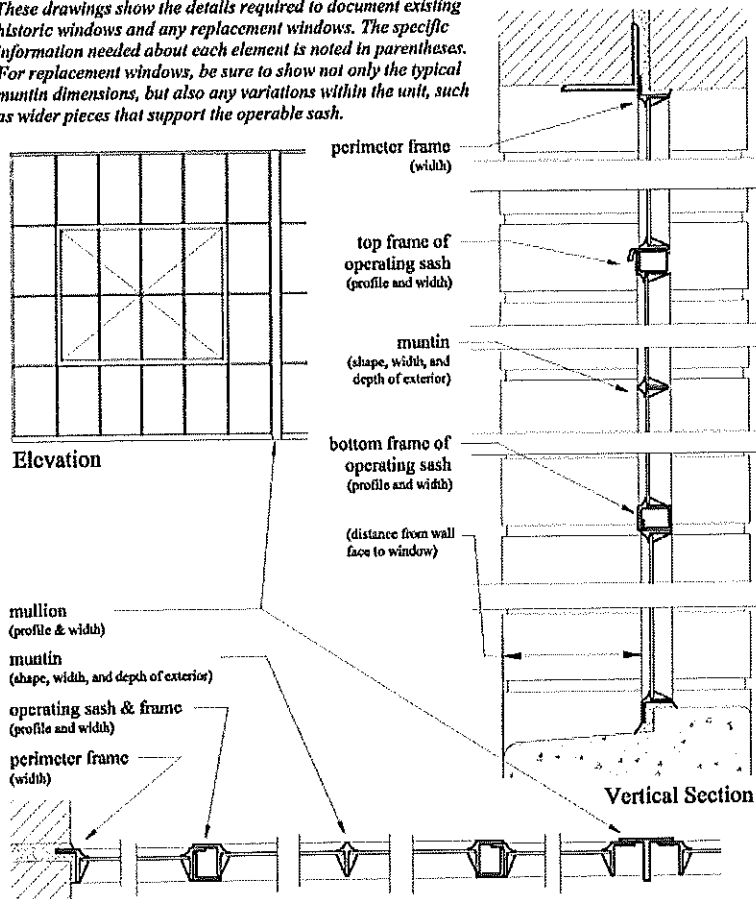
Window sections must show the profiles of muntins, meeting rails, sash, frames, moldings, and other features. Construction details must be apparent, including joinery. For all projects, the window's relationship to the existing wall plane must also be provided for both the existing historic windows, when present, and the proposed replacement window.

Wood Windows



Industrial Steel Windows

These drawings show the details required to document existing historic windows and any replacement windows. The specific information needed about each element is noted in parentheses. For replacement windows, be sure to show not only the typical muntin dimensions, but also any variations within the unit, such as wider pieces that support the operable sash.



RESOLUTION 2021-072

RESOLUTION OF THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM PROVIDING FOR A MEETING NOT OPEN TO THE PUBLIC IN ACCORDANCE WITH THE PROVISIONS OF THE NEW JERSEY OPEN PUBLIC MEETINGS ACT, N.J.S.A. 10:4-12

WHEREAS, the Township Committee of the Township of Mendham is subject to certain requirements of the Open Public Meetings Act, N.J.S.A. 10:4-6, et seq.; and

WHEREAS, the Open Public Meetings Act, N.J.S.A. 10:4-12, provides that an Executive Session, not open to the public, may be held for certain specified purposes when authorized by Resolution; and

WHEREAS, it is necessary for the Township Committee of the Township of Mendham to discuss in a session not open to the public certain matters relating to the item or items authorized by N.J.S.A. 10:4-12b and designated below:

- (1) Matters Required by Law to be Confidential: Any matter which, by express provision of Federal law or State statute or rule of court shall be rendered confidential or excluded from the provisions of the Open Public Meetings Act.
- (2) Matters Where the Release of Information Would Impair the Right to Receive Funds: Any matter in which the release of information would impair a right to receive funds from the Government of the United States.
- (3) Matters Involving Individual Privacy: Any material the disclosure of which constitutes an unwarranted invasion of individual privacy such as any records, data, reports, recommendations, or other personal material of any educational, training, social service, medical, health, custodial, child protection, rehabilitation, legal defense, welfare, housing, relocation, insurance and similar program or institution operated by a public body pertaining to any specific individual admitted to or served by such institution or program, including but not limited to information relative to the individual's personal and family circumstances, and any material pertaining to admission, discharge, treatment, progress or condition of any individual, unless the individual concerned (or, in the case of a minor or incompetent, his guardian) shall request in writing that the same be disclosed publicly.
- (4) Matters Relating to Collective Bargaining Agreements: Any collective bargaining agreement, or the terms and conditions which are proposed for inclusion in any collective bargaining agreement, including the negotiation of the terms and conditions thereof with employees or representatives of employees of the public body.
- (5) Matters Relating to the Purchase, Lease or Acquisition of Real Property or the Investment of Public Funds: Any matter involving the purchase, lease or acquisition of real property with public funds, the setting of banking rates or investment of public funds, where it could adversely affect the public interest if discussion of such matters were disclosed.
- (6) Matters Relating to Public Safety and Property: Any tactics and techniques utilized in protecting the safety and property of the public provided that their disclosure could impair such protection. Any investigations of violations of possible violations of the law.
- (7) Matters Relating to Litigation, Negotiations and the Attorney-Client Privilege: Any pending or anticipated litigation or contract negotiation in which the public body is, or may become a party. Any matters falling within the attorney-client privilege, to the extent that confidentiality is required in order for the attorney to exercise his ethical duties as a lawyer.

ATTORNEY-CLIENT PRIVILEGE

- (8) Matters Relating to the Employment Relationship: Any matter involving the employment, appointment, termination of employment, terms and conditions of employment, evaluation of the performance of promotion or disciplining of any specific prospective public officer or employee or current public officer or employee employed or appointed by the public body, unless all the individual employees or appointees whose right could be adversely affected request in writing that such matter or matters be discussed at a public meeting.



(9) Matters Relating to the Potential Imposition of a Penalty: Any deliberations of a public body occurring after a public hearing that may result in the imposition of a specific civil penalty upon the responding party or the suspension or loss of a license or permit belonging to the responding party bears responsibility.

NOW, THEREFORE, BE IT RESOLVED by the Township Committee of the Township of Mendham, in the County of Morris and State of New Jersey, assembled in public session on **March 22, 2021 at 7:30 P.M.** in the Township Municipal Building, 2 West Main Street, Brookside, New Jersey, that the Township Committee shall meet in Executive Session, from which the public shall be excluded, for the discussion of matters relating to the specific items designated above.

BE IT FURTHER RESOLVED that it is anticipated that the deliberations conducted in closed session may be disclosed to the public upon the determination of the Township Committee that the public interest will no longer be served by such confidentiality.

Adopted: March 22, 2021

Attest:

TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

CERTIFICATION: I, Maria F. Coppinger, Clerk of the Township of Mendham, County of Morris, State of New Jersey, do hereby certify the foregoing to be a true and exact copy of a resolution adopted by the Mendham Township Committee at a meeting held on March 22, 2021.

Maria F. Coppinger, Township Clerk

RESOLUTION 2021-073

RESOLUTION OF THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM AUTHORIZING THE AWARD OF A COMPETITIVE BIDDING CONTRACT TO WICKLOW & LAURANO EXCAVATING OF MENDHAM TOWNSHIP FOR CONSTRUCTION OF THE PITNEY FARMS PARK

WHEREAS, The Township Engineer publicly opened bids for on March 10, 2021 for construction of the Pitney Farms Park, Cold Hill Rd., Mendham Township; and

WHEREAS, 8 bids were received, and the Township Engineer has prepared the attached Bid Summary Form; and

WHEREAS, the Township Engineer has determined that the low bid of WICKLOW & LAURANO EXCAVATING OF MENDHAM TOWNSHIP NJ, is in proper form and in compliance with the provisions of N.J.S.A. 40A:11-23.5 and the specifications as written; and

WHEREAS the Township Administrator and Attorney have reviewed the bids and the Township Engineer's recommendation and concur in his evaluation; and

WHEREAS, funds for this contract award are available in the flowing accounts:
Ordinance 2020-2 – C-04-55-016-000 Construction of Pitney Park - \$641,505

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Committee of the Township of Mendham, County of Morris, State of New Jersey, as follows:

1. The Township Committee hereby awards a contract to WICKLOW & LAURANO EXCAVATING OF MENDHAM TOWNSHIP, New Jersey for Construction of the Pitney Farms Park as cited in the Specifications dated February 17, 2021 in a total amount not to exceed \$647,146.74 (\$640,739.35 bid plus a 1% contingency of 6,407.39).
2. The Mayor and Township Clerk are hereby authorized and directed to execute a contract with WICKLOW & LAURANO EXCAVATING OF MENDHAM TOWNSHIP in accordance with its bid for said Roadway Improvements.
3. This resolution and contract shall be available for public inspection in the office of the Township Clerk.

Adopted: March 22, 2021

Attest:

TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

CERTIFICATION I, Maria F. Coppinger, Township Clerk of the Township of Mendham, do hereby certify the foregoing resolution was duly adopted by the Township Committee at a Regular Meeting held on March 22, 2021.

Maria F. Coppinger, Township Clerk



Hackettstown Office
43 Newburgh Road, Suite 100, Hackettstown, New Jersey 07840

Regional Offices
Corporate - Wall, New Jersey
King of Prussia, Pennsylvania
Camden, New Jersey
New York, New York

March 18, 2021

Mr. Bob Casey
Interim Township Administrator
TOWNSHIP OF MENDHAM
2 West Main Street, P.O. Box 520
Brookside, NJ 07926

Re: Bid Review for
Pitney Park
Township of Mendham, New Jersey
FPA No. 13311.001 T016

Dear Mr. Casey:

We have had an opportunity to review the low bids for the Pitney Park project. The three low bidders were as follows:

Low Bid – Wicklow & Laurano Excavation & Landscape - \$640,739.35
2nd Low Bidder - Earthworks, Inc - \$659,879.00
3rd Low Bidder – Vollers Excavating & Construction, Inc - \$664,306.55

We have had the opportunity to review the low bidder, Wicklow & Laurano Excavation & Landscape's bid package. The bid package appears to be in order and complete with the indicated experience warranted for the project. It should be noted that there is a discrepancy in the calculation of Wicklow & Laurano's total bid price and some of their item total costs. Wicklow and Laurano submitted a total base bid price of \$641,504.05, however the total sum of the multiples of all submitted unit costs and respective quantities comes to a total of \$640,739.35. Per the project Bid Specification section 4.7 *Errors In Price Calculation; Any discrepancy between the unit price multiplied by the quantity and a corresponding total price figure set forth in the Proposal Forms(s) shall be resolved in favor of a total price reached by multiplying the unit price by the quantity.* Correct itemized and grand totals based on the unit costs submitted by Wicklow & Laurano can be found in the attached Wicklow & Laurano Bid Cost Summary.



Based upon this review, we recommend that the Township award the contract to Wicklow & Laurano Excavation & Landscape for the base fee of \$640,739.35. Please feel free to reach out to me should you have any questions.

Respectfully Submitted,
FRENCH & PARRELLO ASSOCIATES

A handwritten signature in black ink, appearing to read 'Denis Keenan', written over a horizontal line.

Denis Keenan, PE CME CFM
Township Engineer

Bid Summary
Pitney Park
 March 17, 2021

Bid No.	Contractor	Base Bid Price	Add Alt 1	Total with Add 1	Add Alt 2	Total with Add 1 & 2
1	Wicklow & Laurano Excavation & Landscape	\$640,739.35	\$10,180.00	\$650,919.35	\$26,780.00	\$677,699.35
2	Earthworks, Inc.	\$659,879.00	\$11,216.00	\$671,095.00	\$20,600.00	\$691,695.00
3	Vollers Excavating & Construction, Inc.	\$664,306.55	\$11,342.00	\$675,648.55	\$23,690.00	\$699,338.55
4	Rochelle Contracting Co., Inc.	\$677,076.65	\$12,752.00	\$689,828.65	\$56,650.00	\$746,478.65
5	Zenith Construction Services, Inc.	\$899,069.00	\$11,752.00	\$910,821.00	\$30,900.00	\$941,721.00
6	RFC Excavating & Landscape Construction	\$902,873.32	\$8,428.56	\$911,301.88	\$74,232.10	\$985,533.98
7	Flanagans Contracting Group, Inc.	\$908,784.41	\$6,645.60	\$915,430.01	\$51,500.00	\$966,930.01
8	KDP Developers, Inc.	\$970,106.50	\$21,360.00	\$991,466.50	\$68,495.00	\$1,059,961.50

Wicklow and Laurano Excavating Landscape Bld Cost Summary

Piney Park
March 18, 2021

NO.	DESCRIPTION OF MATERIALS	QUANTITIES	UNITS	UNIT PRICE	COST
1	Site Clearing	1	L.S.	\$16,470.00	\$16,470.00
2	General Earthwork	1	L.S.	\$32,898.20	\$32,898.20
3	Survey Stakeout and Control	1	L.S.	\$10,300.00	\$10,300.00
4	Erosion & Sediment Control Measures	1	L.S.	\$10,689.34	\$10,689.34
5	Tree Protection	13	UNITS	\$61.80	\$803.40
6	Area Drain	7	UNITS	\$1,197.71	\$8,383.97
7	Lawn Drain	3	UNITS	\$1,311.33	\$3,933.99
8	6" Flared End Section	4	UNITS	\$504.70	\$2,018.80
9	12" Flared End Section	3	UNITS	\$675.77	\$1,727.31
10	6" HDPE Storm Pipe	763	L.F.	\$26.26	\$19,273.38
11	12" HDPE Storm Pipe	220	L.F.	\$32.47	\$7,143.40
12	PerVIOUS Pavement Walkway	29,266	S.F.	\$7.87	\$230,323.42
13	PerVIOUS Pavement Parking Area	8,895	S.F.	\$7.79	\$69,292.05
14	6" Thick Concrete Apron	457	S.F.	\$16.45	\$7,020.65
15	4" Thick Concrete Sidewalk	150	S.F.	\$10.30	\$1,545.00
16	Wet Laid Bluestone	1,030	S.F.	\$28.84	\$29,705.20
17	Granite Block Curb	38	L.F.	\$71.05	\$2,699.90
18	Rip Rap Stone Scour Hole (8" Outlet)	2	UNITS	\$1,004.25	\$2,008.50
19	RIP Rap Stone Scour Hole (19" Outlet)	1	UNITS	\$1,266.90	\$1,266.90
20	RIP RAP Stone Conduit Outlet Protection	250	S.F.	\$8.75	\$2,187.50
21	Wheel Stops	8	UNITS	\$428.48	\$3,427.84
22	Access Gate	2	UNITS	\$1,715.13	\$3,430.26
23	Pavement Markings	1	L.S.	\$1,030.00	\$1,030.00
24	Concrete Pad for Benches	80	S.F.	\$10.30	\$827.00
25	Handicapped Sign	2	UNITS	\$257.50	\$515.00
26	Reserved Parking Sign	3	UNITS	\$77.25	\$231.75
27	Stop Sign	1	UNITS	\$257.50	\$257.50
28	Irrigation	1	L.S.	\$22,605.50	\$22,605.50
29	Flanpole	1	L.S.	\$6,603.33	\$6,603.33
30	Sun Dial Monument	1	UNITS	\$634.30	\$634.30
31	Monument Reset	1	L.S.	\$5,747.40	\$5,747.40
32	Bluebird House	5	UNITS	\$381.10	\$1,905.50
33	Informational Signposts	10	UNITS	\$807.52	\$8,075.20
34	Electrical Service	1	L.S.	\$8,859.80	\$8,859.80
35	Landscaping	1	L.S.	\$89,900.46	\$89,900.46
36	Seeding and Stabilization	1	L.S.	\$28,767.60	\$28,767.60
Total Base Bid Price					\$640,739.35
Add Alternate 1 - Sidewalk to Ballentine					
1	Concrete Sidewalk	768	S.F.	\$10.00	\$7,680.00
2	ADA Ramp	1	L.S.	\$2,500.00	\$2,500.00
Total Add Alternate 1					\$10,180.00
Add Alternate 2 - Slip Rail Fence					
1	Slip Rail Fence	1,030	L.F.	\$26.00	\$26,780.00
Total Add Alternate 2					\$26,780.00
Total Base Bid Price					\$640,739.35
Total Including Add Alternate 1					\$650,919.35
Total Including Add Alternate 2					\$667,519.35
Total Including Add Alternate 1 & 2					\$677,699.35



Hackettstown Office
43 Newburgh Road, Suite 100, Hackettstown, New Jersey 07840

Regional Offices
Corporate - Wall, New Jersey
King of Prussia, Pennsylvania
Camden, New Jersey
New York, New York

March 17, 2021

Mr. Bob Casey
Interim Township Administrator
TOWNSHIP OF MENDHAM
2 West Main Street, P.O. Box 520
Brookside, NJ 07926

Re: Bid Review for
Pitney Park
Township of Mendham, New Jersey
FPA No. 13311.001 T016

Dear Mr. Casey:

We have had an opportunity to review the low bids for the Pitney Park project. The three low bidders were as follows:

- Low Bid – Wicklow & Laurano Excavation & Landscape - \$641,504.05
- 2nd Low Bidder - Earthworks, Inc - \$659,879.00
- 3rd Low Bidder – Vollers Excavating & Construction, Inc - \$664,306.55

We have had the opportunity to review the low bidder, Wicklow & Laurano Excavation & Landscape's bid package. The bid package appears to be in order and complete with the indicated experience warranted for the project.

Based upon this review, we recommend that the Township award the contract to Wicklow & Laurano Excavation & Landscape for the base fee of \$641,504.05. Please feel free to reach out to me should you have any questions.

Respectfully Submitted,
FRENCH & PARRELLO ASSOCIATES

Denis Keenan, PE CME CFM
Township Engineer

Bid Summary
Pitney Park
 March 17, 2021

Bid No.	Contractor	Base Bid Price	Add Alt 1	Total with Add 1	Add Alt 2	Total with Add 1 & 2
1	Wicklow & Laurano Excavation & Landscape	\$641,504.05	\$10,180.00	\$651,684.05	\$26,780.00	\$678,464.05
2	Earthworks, Inc.	\$659,879.00	\$11,216.00	\$671,095.00	\$20,600.00	\$691,695.00
3	Vollers Excavating & Construction, Inc.	\$664,306.55	\$11,342.00	\$675,648.55	\$23,690.00	\$699,338.55
4	Rochelle Contracting Co., Inc.	\$677,076.65	\$12,752.00	\$689,828.65	\$56,650.00	\$746,478.65
5	Zenith Construction Services, Inc.	\$899,069.00	\$11,752.00	\$910,821.00	\$30,900.00	\$941,721.00
6	Flanagans Contracting Group, Inc.	\$908,784.41	\$6,645.60	\$915,430.01	\$51,500.00	\$966,930.01
7	RFC Excavating & Landscape Construction	\$902,873.32	\$8,428.56	\$911,301.88	\$74,232.10	\$985,533.98
8	KDP Developers, Inc.	\$970,106.50	\$21,360.00	\$991,466.50	\$68,495.00	\$1,059,961.50

RESOLUTION 2021-074

RESOLUTION OF THE TOWNSHIP OF COMMITTEE OF THE TOWNSHIP OF MENDHAM AUTHORIZING THE AWARD OF A COMPETITIVE BIDDING CONTRACT TO ADS CONTRACTORS OF PITTSOWN, NEW JERSEY FOR DRAINAGE AND ADA IMPROVEMENTS TO COLD HILL AND WOODLAND ROADS

WHEREAS, the Township Engineer publicly opened bids for on March 10, 2021 for various Drainage and ADA Improvements to Cold Hill Road and Woodland Road as a part of NJDOT Grants for the reconstruction to portions of these two roads; and

WHEREAS, 6 bids were received, and the Township Engineer has prepared the attached Bid Summary Form; and

WHEREAS, the Township Engineer has determined that the low bid of ASDS Contractors of Pittstown, NJ, is in proper form and in compliance with the provisions of N.J.S.A. 40A:11-23.5 and the specifications as written; and

WHEREAS the Township Administrator and Attorney have reviewed the bids and the Township Engineer's recommendation and concur in his evaluation; and

WHEREAS, funds for this contract award are available in the following accounts:
Ordinance 2019-12 - C-04-55-015-000 Cold Hill Road - \$113,500
Ordinance 2020-3 - C-04-55-017-000 Woodland Rd - \$54,500

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Committee of the Township of Mendham, County of Morris, State of New Jersey, as follows:

1. The Township Committee hereby awards a contract to ADS Contractors of Pittstown, New Jersey for Roadway Drainage and ADA Improvements to Cold Hill Road and Woodland Road as cited in the Specifications dated February 17, 2021 in a total amount not to exceed \$168,000.
2. The Mayor and Township Clerk are hereby authorized and directed to execute a contract with ADS Contractors in accordance with its bid for said Roadway Drainage and ADA Improvements.
3. This resolution and contract shall be available for public inspection in the office of the Township Clerk.

Adopted: March 22, 2021

Attest:

TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

CERTIFICATION I, Maria F. Coppinger, Township Clerk of the Township of Mendham, do hereby certify the foregoing resolution was duly adopted by the Township Committee at a Regular Meeting held on March 22, 2021.

Maria F. Coppinger, Township Clerk



Hackettstown Office
43 Newburgh Road, Suite 100, Hackettstown, New Jersey 07840

Regional Offices
Corporate - Wall, New Jersey
King of Prussia, Pennsylvania
Camden, New Jersey
New York, New York

March 17, 2021

Mr. Bob Casey
Interim Township Administrator
TOWNSHIP OF MENDHAM
2 West Main Street, P.O. Box 520
Brookside, NJ 07926

Re: Bid Review for
Cold Hill Road & Woodland Road – Drainage & ADA Improvements
Township of Mendham, New Jersey
FPA No. 13311.001 T016

Dear Mr. Casey:

We have had an opportunity to review the low bids for the Cold Hill Road and Woodland Road Drainage and ADA Improvements project. The three low bidders were as follows:

Low Bid - ADS Contractors, LLC - \$167,887.50
2nd Low Bidder - Cifelli & Son General Contractors, INC - \$169,935.00
3rd Low Bidder - NAVA Construction, LLC - \$224,410.00

We have had the opportunity to review the low bidder, ADS Contractors' bid package. The bid package appears to be in order and complete with the indicated experience warranted for the project. It should be noted that there is a discrepancy in the calculation for ADS Contractors total bid price. ADS Contractors submitted a total base bid price of \$161,637.50, however the sum of all the itemized unit cost items on the bid is \$167,887.50. This still leaves ADS Contractors' as the lowest bidder.

Based upon this review, we recommend that the Township award the contract to ADS Contractors for the fee of \$167,887.50. The fee breakdown between is broken up between the two projects as follows:

Cold Hill Road - \$113,387.50
Woodland Road - \$54,400.00
TOTAL: \$167,887.50

Please feel free to reach out to me should you have any questions.



Respectfully Submitted,
FRENCH & PARRELLO ASSOCIATES

A handwritten signature in black ink, appearing to read 'Denis Keenan', written over a horizontal line.

Denis Keenan, PE CME CFM
Township Engineer

Bid Summary

Cold Hill Road Woodland Road Drainage ADA Improvements

March 17, 2021

Bid No.	Contractor	Base Bid Price
1	ADS Contractors, LLC*	\$167,887.50
2	Cifelli & Son General Contractors, INC.	\$169,935.00
3	NAVA Construction, LLC	\$224,410.00
4	Tony's Concrete Construction Co., INC.	\$292,180.00
5	Midwest Construction, INC.	\$263,700.00
6	RFC Excavating & Landscape Construction	\$409,074.30
Notes:	*ADS Contractors submitted their bid with a total bid price of \$161,637.50, however the sum of all their submitted unit costs raise their total bid to \$167,887.50, ADS Contractors remains the low bid.	

ITEM NO.	DESCRIPTION OF MATERIALS	APPROXIMATE QUANTITIES	UNITS	ADS Contractors COST	Cifelli & Son COST	NAVA COST	Midwest Construction COST	Tony's Concrete COST	RFC Excavating COST
1	Removal of Pavement 20201P	250	S.Y.	\$ 6,250.00	\$ 250.00	\$ 6,750.00	\$ 10,000.00	\$ 15,000.00	\$ 13,750.00
2	Prime Coat- 401036M	65	GAL	\$ 1,950.00	\$ 65.00	\$ 2,600.00	\$ 325.00	\$ 1,950.00	\$ 975.00
3	Tack Coat - 401039M	35	GAL	\$ 1,050.00	\$ 35.00	\$ 1,225.00	\$ 175.00	\$ 1,050.00	\$ 525.00
4	Dense Graded Aggregate Base Coarse, 6" Thick - 302036P	210	S.Y.	\$ 3,675.00	\$ 210.00	\$ 3,150.00	\$ 1,260.00	\$ 8,820.00	\$ 6,999.30
5	Hot Mix Asphalt 9.6M64 Surface Course, 2" Thick - 302036P	35	TON	\$ 6,825.00	\$ 3,500.00	\$ 7,000.00	\$ 4,200.00	\$ 9,800.00	\$ 8,750.00
6	Hot Mix Asphalt 19M64 Base Coat	75	TON	\$ 14,625.00	\$ 7,500.00	\$ 13,125.00	\$ 9,000.00	\$ 19,500.00	\$ 16,875.00
7	Curb Piece, "N-ECO" - 602213M	9	UNITS	\$ 4,500.00	\$ 3,600.00	\$ 2,700.00	\$ 4,500.00	\$ 4,050.00	\$ 5,850.00
8	Bicycle Safe Gate - 602210M	9	UNITS	\$ 4,500.00	\$ 4,500.00	\$ 2,250.00	\$ 4,500.00	\$ 6,750.00	\$ 4,050.00
9	Using Existing Casting - 602123M	4	UNITS	\$ 3,600.00	\$ 4,000.00	\$ 3,000.00	\$ 16,000.00	\$ 8,800.00	\$ 22,000.00
10	Inlet, Type B - 602012M	1	UNITS	\$ 4,000.00	\$ 4,000.00	\$ 3,700.00	\$ 4,500.00	\$ 3,900.00	\$ 7,600.00
11	9"x18" Concrete Vertical Curb - 607021P	175	LF	\$ 4,375.00	\$ 6,650.00	\$ 9,625.00	\$ 8,750.00	\$ 10,500.00	\$ 13,125.00
12	Granite Curb - 607075P	320	LF	\$ 8,000.00	\$ 12,160.00	\$ 17,600.00	\$ 14,400.00	\$ 12,800.00	\$ 24,000.00
13	9" x 18" Hot Mix Asphalt Curb - 607084P	380	LF	\$ 5,700.00	\$ 14,440.00	\$ 12,160.00	\$ 15,200.00	\$ 11,400.00	\$ 17,100.00
14	Concrete Sidewalk, 4" Thick - 606012P	150	S.Y.	\$ 12,750.00	\$ 13,500.00	\$ 14,250.00	\$ 12,000.00	\$ 15,300.00	\$ 18,000.00
15	Detectable Warning Surface - 606084P	25	S.Y.	\$ 2,125.00	\$ 7,500.00	\$ 5,000.00	\$ 5,000.00	\$ 9,500.00	\$ 18,750.00
16	15" Reinforced Concrete Pipe - 601122P	10	LF	\$ 1,500.00	\$ 1,500.00	\$ 3,000.00	\$ 1,000.00	\$ 3,600.00	\$ 7,500.00
17	8"x8" Precast Lid with Manhole Riser & Cover - NS	1	UNIT	\$ 2,000.00	\$ 4,800.00	\$ 20,000.00	\$ 5,000.00	\$ 3,900.00	\$ 4,600.00
18	Removal of curb - MMR031M	825	LF	\$ 6,187.50	\$ 825.00	\$ 3,300.00	\$ 8,250.00	\$ 8,250.00	\$ 12,375.00
19	Concrete Driveway, Reinforced, 6" Thick - 606057P	40	S.Y.	\$ 3,800.00	\$ 4,000.00	\$ 3,800.00	\$ 4,000.00	\$ 4,080.00	\$ 12,000.00
20	Topsoiling, 6" Thick - MMD056M	190	S.Y.	\$ 3,800.00	\$ 950.00	\$ 760.00	\$ 950.00	\$ 1,520.00	\$ 5,700.00
21	Fertilizing and seeding, Type A-3 - 606006P	190	S.Y.	\$ 950.00	\$ 950.00	\$ 380.00	\$ 950.00	\$ 190.00	\$ 3,800.00
22	Guide Sign, Type GA, Breakaway supports - 612009P	24	S.Y.	\$ 1,800.00	\$ 8,400.00	\$ 7,680.00	\$ 1,440.00	\$ 720.00	\$ 6,000.00
23	Depressed Concrete Curb - NS	285	LF	\$ 7,125.00	\$ 11,400.00	\$ 15,675.00	\$ 11,400.00	\$ 17,100.00	\$ 21,375.00
24	Removal Concrete Sidewalk - MMR034M	130	S.Y.	\$ 975.00	\$ 130.00	\$ 1,755.00	\$ 10,400.00	\$ 5,200.00	\$ 11,700.00
25	Depressed Granite Curb - NS	45	S.Y.	\$ 1,125.00	\$ 1,600.00	\$ 2,475.00	\$ 1,800.00	\$ 2,250.00	\$ 5,625.00
COLD HILL RD				ADS	Cifelli & Son	NAVA	Midwest	Tony's Concrete	RFC Excavating
				\$ 113,387.50	\$ 116,685.00	\$ 162,960.00	\$ 155,000.00	\$ 185,930.00	\$ 268,824.30

ITEM NO.	DESCRIPTION OF MATERIALS	APPROXIMATE QUANTITIES	UNITS	ADS Contractors COST	Cifelli & Son COST	NAVA COST	Midwest Construction COST	Tony's Concrete COST	RFC Excavating COST
26	Dense Graded Aggregate Base Course, 6" Thick - 302036P	20	S.Y.	\$ 900.00	\$ 20.00	\$ 300.00	\$ 400.00	\$ 840.00	\$ 3,000.00
27	Hot Mix Asphalt 9.5M64 Surface Course, 2" Thick - 302036P	3	TON	\$ 750.00	\$ 300.00	\$ 600.00	\$ 600.00	\$ 1,470.00	\$ 2,550.00
28	Remove Full Depth Pavement - 202021P	20	S.Y.	\$ 1,000.00	\$ 20.00	\$ 600.00	\$ 1,000.00	\$ 1,800.00	\$ 2,400.00
29	Hot Mix Asphalt 19M64 Base Course, 4" Thick - 401099M	6	TON	\$ 1,500.00	\$ 600.00	\$ 1,200.00	\$ 1,200.00	\$ 2,940.00	\$ 3,300.00
30	Curb Piece, "N-ECO" - 602213M	13	TON	\$ 6,500.00	\$ 6,200.00	\$ 3,900.00	\$ 6,500.00	\$ 5,850.00	\$ 8,450.00
31	Bicycle Safe Eco Gate - 602210M	5	UNITS	\$ 2,500.00	\$ 2,500.00	\$ 1,250.00	\$ 2,500.00	\$ 3,750.00	\$ 2,250.00
32	Reconstruct Existing Inlet - 602123M	12	UNITS	\$ 11,400.00	\$ 12,000.00	\$ 8,400.00	\$ 64,000.00	\$ 34,800.00	\$ 54,000.00
33	Bicycle Safe Gate, 36" - 602210M	8	UNITS	\$ 4,000.00	\$ 4,000.00	\$ 2,600.00	\$ 4,000.00	\$ 6,000.00	\$ 3,600.00
34	Curb Piece Faceplate, 36" - 602210M	8	UNITS	\$ 4,000.00	\$ 2,400.00	\$ 2,400.00	\$ 4,000.00	\$ 2,400.00	\$ 3,200.00
35	Excavation, Unclassified - 202009P	20	CY	\$ 2,000.00	\$ 20.00	\$ 1,100.00	\$ 2,000.00	\$ 1,000.00	\$ 6,000.00
36	12" Reinforced Concrete Pipe - 601120P	40	LF	\$ 6,000.00	\$ 5,200.00	\$ 10,000.00	\$ 8,000.00	\$ 14,000.00	\$ 9,000.00
37	Coarse Aggregate No. 57 Stone 302060P	10	CY	\$ 950.00	\$ 10.00	\$ 1,100.00	\$ 500.00	\$ 800.00	\$ 2,500.00
38	9"x18" Concrete Vertical Curb - 607021P	400	LF	\$ 10,000.00	\$ 15,200.00	\$ 22,000.00	\$ 20,000.00	\$ 24,000.00	\$ 30,000.00
39	Depressed Concrete Curb - nNS	100	LF	\$ 2,500.00	\$ 3,800.00	\$ 5,500.00	\$ 5,000.00	\$ 6,000.00	\$ 7,600.00
40	Connect To existing Pipe - NS	1	UNITS	\$ 500.00	\$ 2,000.00	\$ 500.00	\$ 1,000.00	\$ 800.00	\$ 2,500.00
				ADS	Cifelli & Son	NAVA	MIDWEST	Tony's Concrete	RFC Excavating
Cold Hill Road				\$ 113,387.50	\$ 116,685.00	\$ 162,960.00	\$ 155,000.00	\$ 185,930.00	\$ 268,824.30
Woodland Road				\$ 54,500.00	\$ 53,270.00	\$ 61,450.00	\$ 108,700.00	\$ 106,250.00	\$ 140,250.00
Total Base Bid Price				\$ 167,887.50	\$ 169,955.00	\$ 224,410.00	\$ 263,700.00	\$ 292,180.00	\$ 409,074.30

RESOLUTION 2021-075
RESOLUTION OF THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM AUTHORIZING THE
AWARD OF A COMPETITIVE BIDDING CONTRACT TO FATHER DAUGHTER LLC. OF LONG VALLEY FOR
BASEBALL INFIELD MAINTENANCE

WHEREAS, The Township Purchasing Agent publicly opened bids for on March 21, 2021 for Baseball Infield Maintenance Services to be provided to 5 Township owned baseball fields; and

WHEREAS, 4 bidders were contacted about the bid process, one bid was received, and that bid was determined to comply with the Bid requirements, to be in proper form and in compliance with the provisions of N.J.S.A. 40A:11-23.5 and the specifications as written; and

WHEREAS, the services provided in this bid will be provided for in the 2021 budget from accounts numbered 01-28-375-024 – Parks Other Expense.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Committee of the Township of Mendham, County of Morris, State of New Jersey, as follows:

1. The Township Committee hereby awards a contract to Father Daughter LLC. of Long Valley, New Jersey, for Baseball Infield Maintenance for 5 In infields cited in the Specifications dated March 8, 2021 in a total amount not to exceed \$16,675.
2. The Mayor and Township Clerk are hereby authorized and directed to execute a contract with Father Daughter LLC. Of Long Valley, in accordance with its bid for said Baseball Infield Maintenance Services.
3. This resolution and contract shall be available for public inspection in the office of the Township Clerk.

Adopted: March 22, 2021

Attest:

TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

CERTIFICATION: I, Maria F. Coppinger, Clerk of the Township of Mendham, County of Morris, State of New Jersey, do hereby certify the foregoing to be a true and exact copy of a resolution adopted by the Mendham Township Committee at a meeting held on March 22, 2021.

Maria F. Coppinger, Township Clerk

RESOLUTION 2021-076
RESOLUTION OF THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM
AUTHORIZING THE PAYMENT OF BILLS

BE IT RESOLVED, by the Township Committee of the Township of Mendham, in the County of Morris, New Jersey, that the Chief Financial Officer be and hereby is authorized to pay current bills as attached hereto and made a part hereof, contingent upon the approval of the Finance Committee.

Adopted: March 22, 2021

Attest:

TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

CERTIFICATION: I, Maria F. Coppinger, Clerk of the Township of Mendham, County of Morris, State of New Jersey, do hereby certify the foregoing to be a true and exact copy of a resolution adopted by the Mendham Township Committee at a meeting held on March 22, 2021.

Maria F. Coppinger, Township Clerk

**Bills list can be found on the website under the
agenda & minutes tab. Locate the meeting date
and click on "other docs."**

**TOWNSHIP OF MENDHAM
MORRIS COUNTY, NEW JERSEY**

ORDINANCE NO. 05-2021

**AN ORDINANCE OF THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM
AMENDING THE STORMWATER CONTROL ORDINANCE**

BE IT ORDAINED BY THE TOWNSHIP COMMITTEE OF THE TOWNSHIP OF MENDHAM, IN THE COUNTY OF MENDHAM, NEW JERSEY, as follows:

SECTION 1. Ordinance No. 01-2021 Entitled STORM WATER CONTROL ORDINANCE is amended as follows:

Section IV: Paragraph N.

A stormwater management measure approved under the municipal stormwater management plan or ordinance may be altered or replaced with the approval of the municipality, if the municipality determines that the proposed alteration or replacement meets the design and performance standards pursuant to Section IV of this ordinance and provides the same level of stormwater management as the previously approved stormwater management measure that is being altered or replaced. If an alteration or replacement is approved, a revised deed notice shall be submitted to the municipality for approval and subsequently recorded with the County Clerk of the County of Morris and shall contain a description and location of the stormwater management measure, as well as reference to the maintenance plan, in accordance with M above. Prior to the commencement of construction, proof that the above required deed notice has been filed shall be submitted to the municipality in accordance with M above.

SECTION 2.

If any section, subsection, sentence, clause, or phrase of this ordinance is for any reason found to be unconstitutional or unenforceable, such decision shall not affect the remaining portion of this ordinance.

SECTION 3.

All ordinances of the Township of Mendham which are inconsistent with the provisions of this ordinance are hereby repealed to the extent of such inconsistency.

SECTION 4.

This Ordinance shall take effect after final passage and publication pursuant to law.

INTRODUCED: 03/22/2021

ADVERTISED:

PUBLIC HEARING: 04/12/2021

ADOPTED:

ADVERTISED:

ATTEST:

TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

**TOWNSHIP OF MENDHAM
MORRIS COUNTY – NEW JERSEY**

ORDINANCE NO. 04-2021

**AN ORDINANCE OF THE TOWNSHIP OF COMMITTEE OF THE TOWNSHIP OF MENDHAM
SUPPLEMENTING CHAPTER 10 OF THE CODE OF ORDINANCES, ADMINISTRATION OF GOVERNMENT,
TO ESTABLISH A NEW SUBSECTION 10-48 MENDHAM EAST AND WEST WATER POLLUTION CONTROL
SYSTEM ADVISORY COMMITTEE**

WHEREAS; the Township of Mendham owns, operates and maintains the Mendham East Water Pollution Control System as a self-liquidating municipal utility serving 78 single-family dwellings within the Drakewick at Mendham subdivision; 14 condominium dwelling units on Tax Map Lot 40 in Block 145.04 (The Corners at Mendham) and 12 condominium dwelling units on Tax Map Lot 51.35 in Block 131 (Mendham Knolls); and

WHEREAS, the Township of Mendham owns, operates and maintains the Mendham West Water Pollution Control System as a self-liquidating municipal utility serving 86 single-family dwellings within the Brookrace subdivision; 12 condominium dwelling units on Tax Map Lot 2 in Block 104.01 (Chamberlain Sawmill Village) and three cottages on Tax Map Lot 23 in Block 104; and

WHEREAS, the Township Committee of the Township of Mendham wishes to create an advisory structure for utility stakeholders to provide formal and ongoing input on decision-making and to offer them greater clarity on issues and concerns as they arise; and

WHEREAS, establishing a standing advisory committee with residents will lead to opportunities for improved communications and better understanding of the operations and maintenance of the utilities and the subsequent impact to homeowners.

NOW, THEREFORE, BE IT HEREBY ORDAINED by the Township Committee of the Township of Mendham, the County of Morris, NJ as follows:

SECTION ONE: - Chapter 10, Administration of Government, of the Code of Ordinances of the Township of Mendham is hereby supplemented by a new Subsection: 10-48: THE MENDHAM EAST AND WEST WATER POLLUTION CONTROL SYSTEM ADVISORY COMMITTEE

Establishment: There is established in the Township of Mendham a Mendham East and West Water Pollution Control System Advisory Committee.

Membership: The members of the Advisory Committee shall be appointed by the Township Committee. The Committee shall include nine members, consisting of:

Class 1: Two members representing the Drakewick development to be selected by the Township Committee from residents nominated by the Drakewick Homeowners Association; two residents representing the Brookrace development to be selected by the Township Committee from residents nominated by the Brookrace Homeowners Association. One resident (at large) who does not own property or live in either development.

Class 2: The Mayor (or a designee); the Township Committee Sewer East and West Liaison; the Township Administrator, and the Township CFO.

Terms: Each member of the Committee shall serve for an initial term of one year, following the effective date of their appointment, except that the subsequent appointments for representatives from the two developments shall be staggered as follows: one from each development for two years and the other for three years.

Powers and duties: The Committee shall have the following powers and duties:

Make recommendations to the Township Committee in regard to the operations, maintenance and repair of the sewer systems.

Make recommendations to the Township Committee with respect to the fees to be charged for services rendered to users of the aforesaid system.

Make recommendations to the Township Committee on any other matters which may be referred to the Committee by the Township Committee.

The Committee shall have no authority to expend any money (nor), incur any expense, (nor) or commit the Township of Mendham to the expenditure of any money.

The Committee shall have no powers other than those set forth herein and shall not commit the Township of Mendham to the commission or omission of any act or thing, nor shall it establish any policy of the Township of Mendham, nor shall it waive any policy, rules, regulations or ordinances previously established by the Township of Mendham.

Meetings: Meetings shall be held at least quarterly, or more frequently as needed, and at such time and place as shall be determined by members of the Advisory Committee.

INTRODUCED: 03/08/2021

ADVERTISED: 03/12/2021

PUBLIC HEARING: 03/22/2021

ADOPTED:

ADVERTISED:

ATTEST:

TOWNSHIP OF MENDHAM,
IN THE COUNTY OF MORRIS

Maria F. Coppinger, Township Clerk

Sarah Neibart, Mayor

ACCESS INFORMATION

TOWNSHIP COMMITTEE MEETING

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